

Exhibit A

Section 22. Cocoa Waterfront Overlay District

(A) Relationship to the Cocoa Redevelopment Area.

The Cocoa Waterfront Overlay District (CWOD) assists in the implementation of the Cocoa Waterfront Master Plan, November 2008, which require regulations by sub district that address design, scale and appearance of developing within the Cocoa Redevelopment Area.

(B) Purpose of the Overlay

The Cocoa Waterfront Overlay District is intended to establish urban design standards to perpetuate the positive design elements and the residential and commercial development patterns found within the Cocoa Redevelopment Area. The Cocoa Redevelopment Area is defined by recognizable geographic boundaries.

(C) Applicability

1. The provisions of this Code, when in conflict, shall take precedence over those of other codes, ordinances, regulations and standards except the Local Health and Safety Codes.
2. Issues not covered by this Section shall be subject to those sections of this land development code, except where they would be in conflict with 22.B Purpose of the Overlay.
3. Where in conflict, numerical metrics shall take precedence over graphic metrics.

(D) Existing Development

The regulations contained in this Code apply to both new development and redevelopment activities within the city of Cocoa. The standards shall apply to the redevelopment of existing sites and structures if:

1. The building floor area is being increased by more than thirty (30) percent; or
2. More than fifty (50) percent of the existing building floor area is being replaced; or
3. There is a combination of floor area increase and existing floor area replacement exceeding fifty (50) percent of the original building floor area; or
4. The existing building is being redeveloped and the cost of redevelopment is greater than fifty (50) percent of the assessed value of the building prior to the improvements.

(E) Cocoa Waterfront Overlay Sub districts

The waterfront overlay includes nine (9) sub districts and identified in the Regulating Plan.

The sub districts include:

1. Cocoa Village (CV)
2. Heart of Cocoa (HC)
3. King/Willard Corridor (KW)
4. Uptown Neighborhood (UN)
5. South of the Village (SV)
6. South End (SE)
7. Waterfront (WF)
8. North of Village (NV)

(F) Uses

The following table identifies, by zoning district and overlay sub district what uses are permitted (P), not permitted (blank) and/or requires a special exception (SE).

Key: SE---Special Exception, Blank Cell---Not Permitted, P--- Permitted, RP--- as identified on the regulating plan

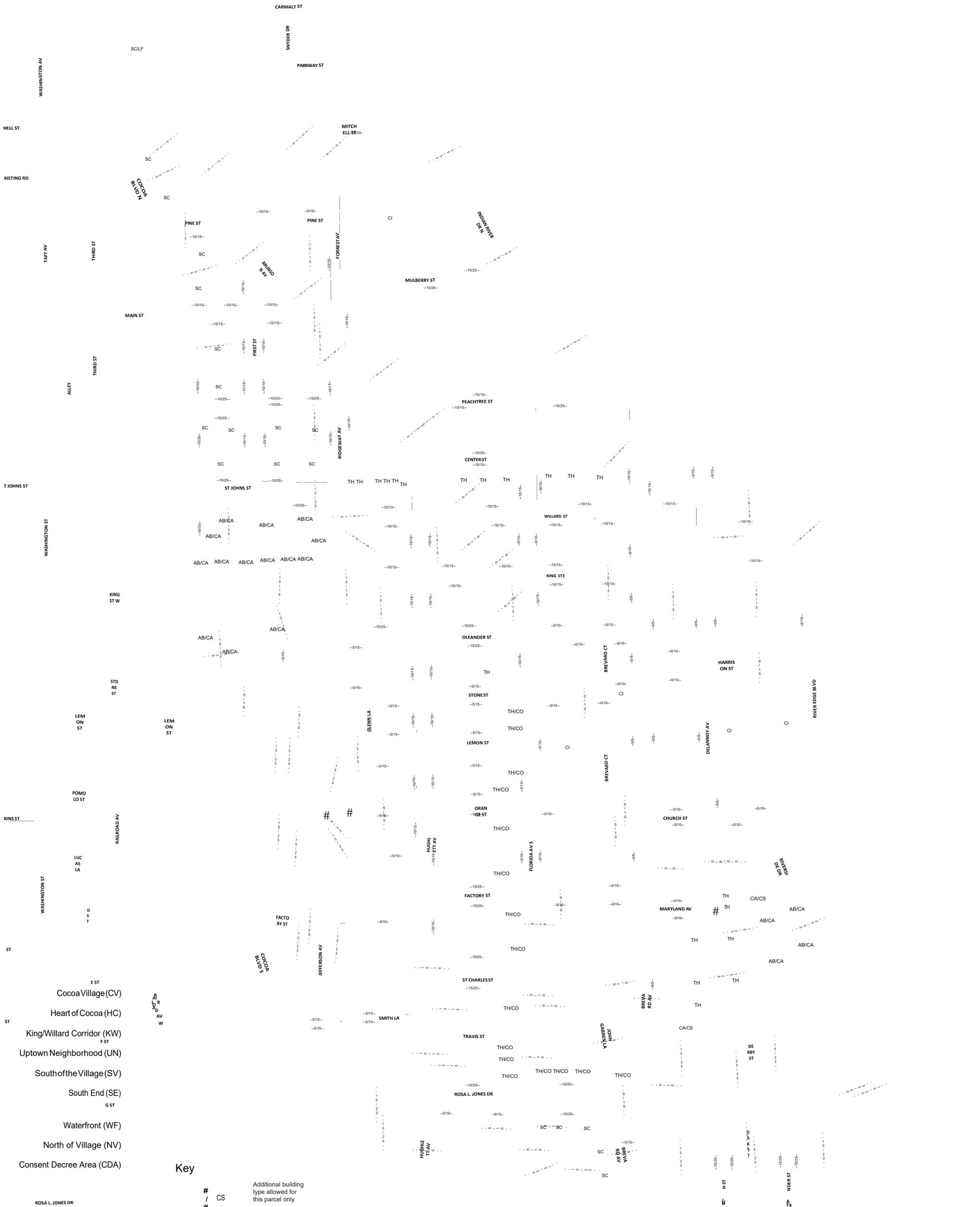
	Heart of Cocoa	Uptown Neighborhood (UN)			South of the Village (SV)		South End (SE)		Waterfront (WF)	Cocoa Village			North of the Village (NV)			King Willard (KW)		
	RU---2---10	RU---2---25	C B D	C---C	RU---2---25	C B D	CBD	C---C	CB D	RU---2---10	C B D	C---C	C---G	C---C	C---P	CBD	C--P	C---C
Residential																		
Adult Congregate Living Facilities (ACLF)		SE	SE				SE		SE		SE		SE			SE		
Group Homes, 6 or fewer residents					P	P												
Group Homes, 7 or greater residents					SE	SE												
Live---Work						RP												
Multi_family dwellings	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Senior elderly only housing													SE					
Single-family, detached dwellings	P	P			P					P			P					
Single-family, attached dwellings		P	P		P	P	P		P		P					P		
Recreation Facilities																		
Marinas			P			P	P		P		P					P		
Outdoor Arena facilities											SE							
Parks, Public and Private			SE	SE		SE	SE	SE	SE		SE	SE		SE		SE		SE
Public Parks and Playgrounds	SE	SE			SE					SE			SE					
Office																		
Professional service/office				P				P				P	P	P				P
Professional offices, studios, clinics, labs, general offices			P			P	P		P		P		P			P		
Business services---secretarial, drafting, repro			P	P		P	P	P	P		P	P	P	P		P		P

Key: SE---Special Exception, Blank Cell---Not Permitted, P--- Permitted, RP--- as identified on the regulating plan	Heart of Cocoa	Uptown Neighborhood (UN)		South of the Village (SV)		South End (SE)		Waterfront (WF)	Cocoa Village		North of the Village (NV)			King Willard (KW)				
	RU---2---10	RU---2---25	C B D	C---C	RU---2---25	C B D	CBD	C---C	CB D	RU---2---10	C B D	C---C	C---G	C---C	C---P	CBD	C---P	C---C
Community / Service Uses																		
Child care centers, day nurseries, kindergartens		SE	SE	SE	SE	SE	SE	SE	SE		SE	SE	P	SE		SE		SE
Churches, and associated buildings	SE	SE	SE	SE	SE	SE	SE	SE	SE	SE	SE	SE	SE	SE	SE	SE	SE	SE
Clinic, Animal			SE			SE	SE		SE		SE		SE			SE		
Museums, Galleries, Community Centers, Libraries	SE	SE	P		SE	P	P		P	SE	P					P		
College or University			SE				SE		SE		SE					SE		
Elementary School			SE				SE		SE		SE					SE		
Middle School			SE				SE		SE		SE					SE		
High School			SE				SE		SE		SE					SE		
Vocational School			SE				SE		SE		SE					SE		
Technical Schools, not with an industrial nature			SE				SE		SE		SE		SE			SE		
Electronic communication/trans facilities & exchanges	SE		SE			SE	SE		SE	SE	SE		SE		SE	SE		SE
Hospitals																		
Medical Facilities		SE			SE													
Medical & Dental Clinics & Labs			P	P		P	P	P	P		P	P	P	P		P		P
Nursing homes			SE			SE	SE		SE		SE		SE			SE		
Sewer lift Stations	SE	SE	P	SE	SE	P	P	SE	P	SE	P	SE	SE	SE	SE	P	SE	SE
Utilities		SE		SE	SE			SE				SE		SE				SE

Key: SE---Special Exception, Blank Cell---Not Permitted, P--- Permitted, RP--- as identified on the regulating plan	Heart of Cocoa	Uptown Neighborhood (UN)			South of the Village (SV)		South End (SE)		Waterfront (WF)	Cocoa Village		North of the Village (NV)			King Willard (KW)			
	RU---2---10	RU---2---25	C B D	C---C	RU---2---25	C B D	CBD	C---C	CB D	RU---2---10	C B D	C---C	C---G	C---C	C---P	CBD	C---P	C---C
Commercial Adult Entertainment Establishment & Sexually Oriented Businesses (see section 2.5 adult																		
Automotive Repair, enclosed structure													SE					
Automotive service stations and Wash (accessory)													P					
Bar or Lounge			SE			SE	SE		SE		SE		SE		SE	SE	SE	
Bed and breakfast establishments		SE	P	SE	P	P	P	SE	P		P	P		SE		P		SE
Car wash, full or self---service													P					
Convenience Store with gas pumps													P		P		P	
Cultural Centers, Museums, Galleries, Community Centers (commercial)			P			P	P		P		P					P		
Dry cleaning Establishments			SE			SE	SE		SE		SE		P			SE		
Financial Institutions			P	P		P	P	P	P		P	P	P	P		P		P
Gym and Fitness facilities			P			P	P		P		P					P		
Hotels and Motels		SE	P	P		P	P	P	P		P	P		P	P		P	
Package Store, beer and wine			SE			SE	SE		SE		SE		P		P	SE	P	
Parking, public or private			SE	P		SE	SE	P	SE			P		P		SE		P
Personal Service Establishments, beauty, barber, laundry, dry cleaning, tailor.			P	P		P	P	P	P		P	P	P	P	P	P	P	P
Pharmacy, Optical services			P			P	P		P		P		P			P		
Plant Nurseries, greenhouses															P		P	
Printing, Engraving, Repro, Publishing			P			P	P		P		P					P		
Private Clubs and Lodges	SE	SE	P	P	SE	P	P	P	P	SE	P	P	SE	P	P	P	P	P
Recreation structures, theatres, driving ranges, bowling alleys (not drive in theatres)			SE			SE	SE		SE		SE		P		P	SE	P	
Repair Service Establishments			P			P	P		P		P					P		
Restaurants			P	P		P	P	P	P		P	P		P		P		P
Retail Stores (except Automotive)			P			P	P		P		P		P			P		

(G) Regulating Plan.

The regulating plan is the principal tool for implementing the standards in this Section and identifies, by sub districts, the permitted building types and street setbacks for the Cocoa Waterfront Overlay District.



- Cocoa Village (CV)
- Heart of Cocoa (HC)
- King/Willard Corridor (KW)
- Uptown Neighborhood (UN)
- South of the Village (SV)
- South End (SE)
- Waterfront (WF)
- North of Village (NV)
- Consent Decree Area (CDA)

Key

- # / # CS Additional building type allowed for this parcel only
- ### Required minimum and maximum street setback (feet)
- ### Break in street
- ### setback dimension
- ### Right-of-wayline

SUB DISTRICT

- Cocoa Village (CV)
- Heart of Cocoa (HC)
- King/Willard Corridor (KW)

ALLOWABLE BUILDING TYPE

Sub District	Homestead (HO)	Estate (ES)	Fl House (HS)	Cottage (CO)	Townhouse (TH)	Apartment Building (AB)	Courtyard Apartment (CA)	Comm - Small (CS)	Comm - Med (CM)	Comm - Large (CL)	Commercial (SC)	Commercial (LF)	Institutional (IT)	Civic (CI)
Cocoa Village (CV)														
Heart of Cocoa (HC)					(2)									
King/Willard Corridor (KW)														

[1] Street setback only enforced from King Street.
 All other street setbacks may be 5' minimum.

[2] Townhomes allowed up to 4 units per building

[3] Consistent with the Substitute Consent Decree as ordered on January 28, 2009.

(beginning point of street setback measurement)

Internal lotline

- Allowed throughout Design District
- Allowed only where indicated on Regulating Plan

New development within the Comm/MXD Use district may be developed as either commercial or mixed use.

Regulating Plan

City of Cocoa Form-Based Code

Cocoa, FL
2015-2020
602 5107

Uptown Neighborhood (UN)

South of the Village (SV)

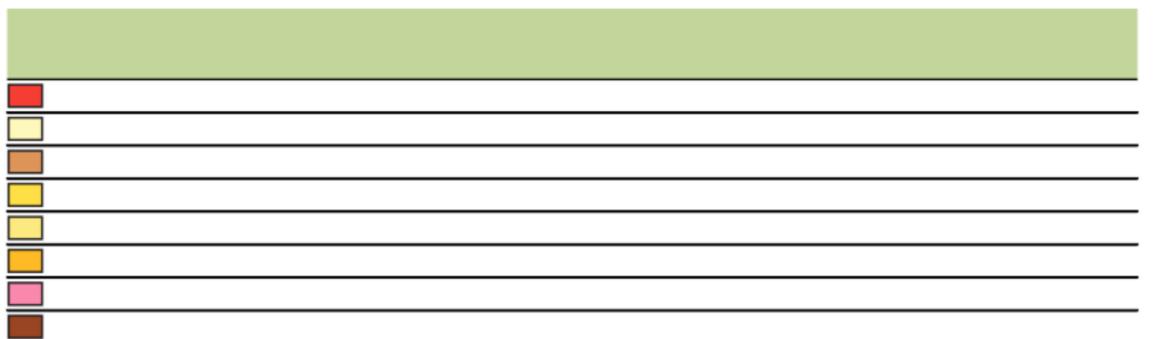
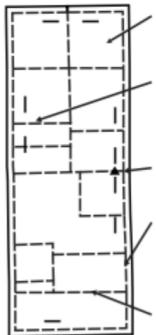
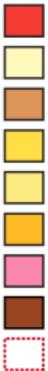
South End (SE)

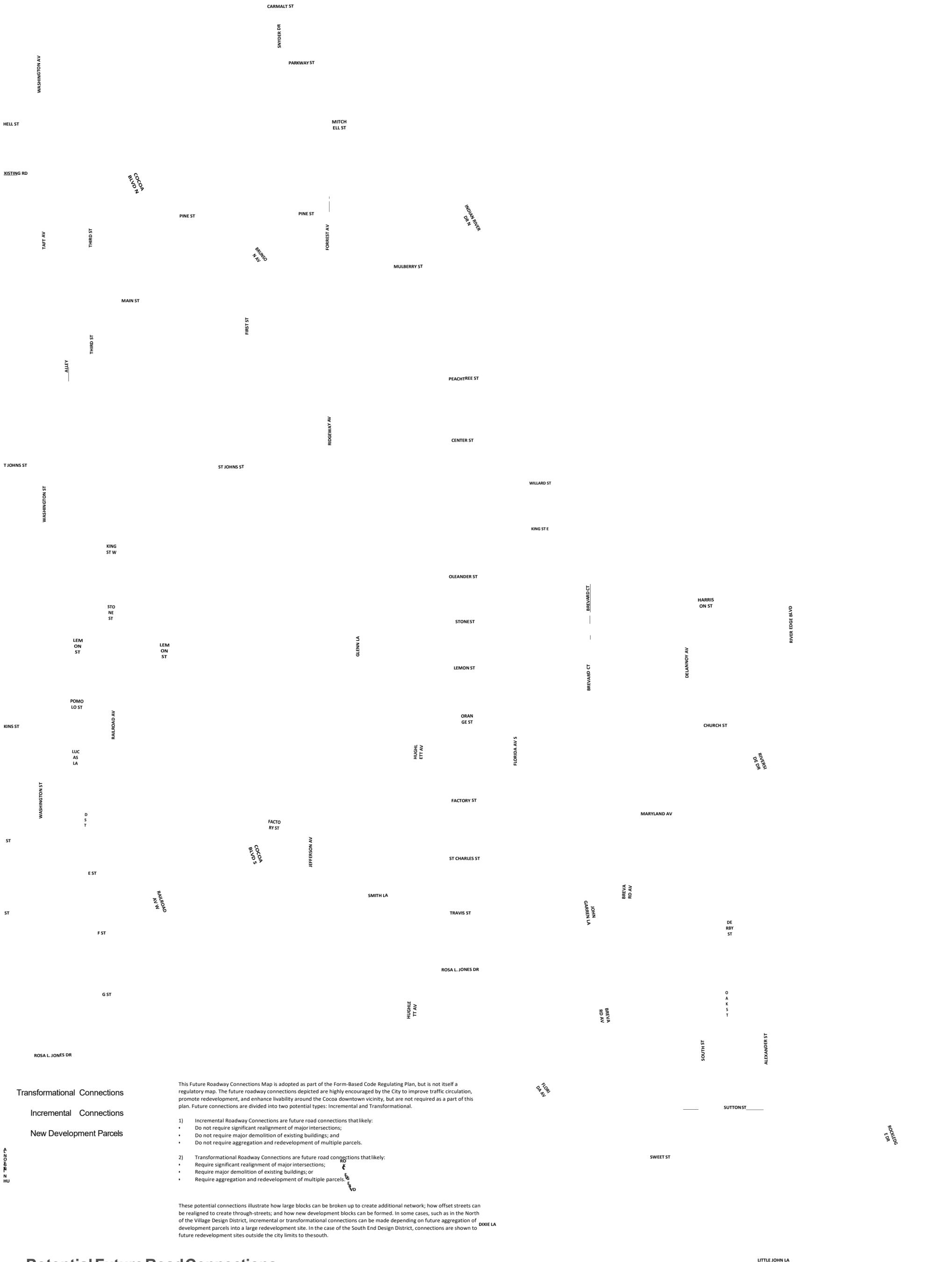
Waterfront (WF)

North of Village (NV)

150 North Orange Avenue
Orlando, Florida 32801
P: (407) 843-6552
F: (407) 839-1789
www.aecom.com

0 50' 100' 200' 400' 600' North





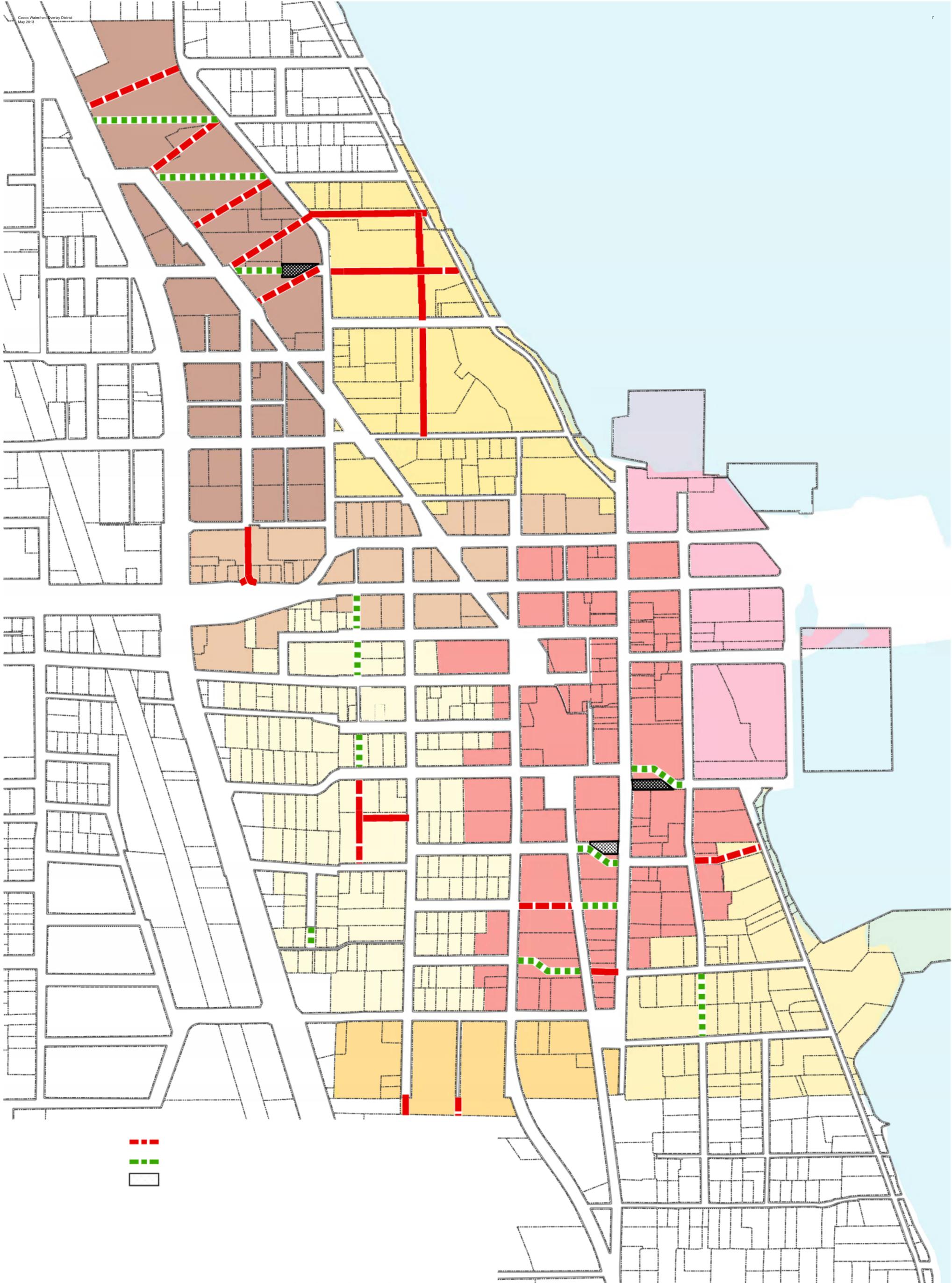
- Transformational Connections
- Incremental Connections
- New Development Parcels

This Future Roadway Connections Map is adopted as part of the Form-Based Code Regulating Plan, but is not itself a regulatory map. The future roadway connections depicted are highly encouraged by the City to improve traffic circulation, promote redevelopment, and enhance livability around the Cocoa downtown vicinity, but are not required as a part of this plan. Future connections are divided into two potential types: Incremental and Transformational.

- 1) Incremental Roadway Connections are future road connections that likely:
 - Do not require significant realignment of major intersections;
 - Do not require major demolition of existing buildings; and
 - Do not require aggregation and redevelopment of multiple parcels.
- 2) Transformational Roadway Connections are future road connections that likely:
 - Require significant realignment of major intersections;
 - Require major demolition of existing buildings; or
 - Require aggregation and redevelopment of multiple parcels.

These potential connections illustrate how large blocks can be broken up to create additional network; how offset streets can be realigned to create through-streets; and how new development blocks can be formed. In some cases, such as in the North of the Village Design District, incremental or transformational connections can be made depending on future aggregation of development parcels into a large redevelopment site. In the case of the South End Design District, connections are shown to future redevelopment sites outside the city limits to the south.

Potential Future Road Connections



(H) Circulation Standards

1. Block Pattern.

The current street framework for the Cocoa Waterfront Overlay District and block size shall remain intact. Additional street connections for vehicular use and pedestrian connections should be reviewed during a submittal for application. A general Circulation Map for the Cocoa Waterfront Overlay District highlights potential connections that should be reviewed and assessed at the type of development review. The waterfront area within the Cocoa Waterfront Overlay District shall remain intact.

2. Vehicular Access, new development

(a) A system of joint use driveways and cross access easements shall be established wherever feasible and the building site shall incorporate the following:

- i. A continuous service drive or cross access extending the entire length of each parcel served to provide for driveway separation consistent with access management classification system and standards.
- ii. Stub-outs and other design features to make it visually obvious that the butting properties may be tied in to provide cross access via a service drive;
- iii. A unified access and circulation system plan that includes coordinated or shared parking areas is encouraged wherever practicable.

(I) Building Types

Building types are permitted by Sub-district when any new and/or redevelopment occurs on any parcel within the Cocoa Waterfront Zoning Overlay. The building typologies are consistent with the size, scale and character desired within each sub-district.

The following categories are included in the table provided for each building type. Each standard is labeled by a letter (A, example) which directly relates to the table provided on each building type. The categories are described as follows:

1. Lot requirements

Provisions for minimum and maximums; lot depth, lot size and the permitted lot coverage;

2. Building envelope: Provisions for the minimum and maximum setbacks permitted by front, side, and rear yards for Urban and Suburban development. There is a minimum and maximum setback for each lot type. The maximum and minimum frontage refers to the proportion of the lot width along which the primary building façade must be within the minimum and maximum front setback; and

3. Accessory Structure Envelope: provides the setbacks and maximum building footprints permitted for accessory structures. In no case shall an accessory structure exceed the height of the primary structure on the parcel.

4. Building height: Provisions for permitted heights in stories (st). The maximum height for first floor residential development shall be fourteen (14) feet and twenty (20) feet for non-residential. The maximum height for second story and higher shall not exceed

twelve (12) feet. Each building lot typology provides the range of height appropriate for the building type. Height shall be measured from finished floor.

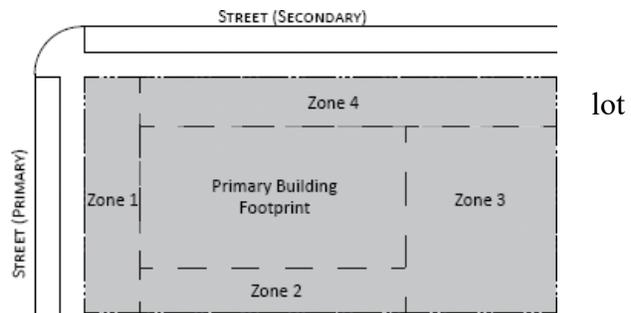
5. Parking provisions: The amount of parking shall be determined by Article XII, Off street parking, of the Land Development Regulations. Parking provisions provide zones where parking is permitted. The parking zone refers to any uncovered parking area located on the parcel in accordance to Appendix A, Article 12. Driveways are permitted in any zone provided the frontage requirements have been met as required by building type. The diagram illustrates a Primary and Secondary street. Primary streets are streets that are addressed to the parcel of land. Secondary streets may or may not have access to the parcel. Zones are defined and illustrated by the lot area between the principal building frontage and:

Zone 1: the right-of-way of any primary street.

Zone 2: any common interior line.

Zone 3: any rear lot line.

Zone 4: the right-of-way of any secondary street.



6. Private frontages, refers to the area that is attached or integrated into the primary building. The building types are either required or preferred. If there are multiple frontages provided in the table, the applicant may choose what private frontage to provide per building. The private frontage area may count towards the calculation of the frontage build out requirement under the “Building Envelope” category.

Design Districts and Building Types Table

Design District	Homestead (HO)	Estate (ES)	House (HS)	Cottage (CO)	Townhouse (TH)	Apartment Building (AB)	Courtyard Apartment (CA)	Commercial/Mixed Use Small (CS)	Commercial/Mixed Use-Medium (CM)	Commercial/Mixed Use-Large (CL)	Single Story Commercial (SC)	Large Format Commercial (LF)	Institutional (IT)	Civic (CI)
Cocoa Village (CV)				RP	RP	P	P	P	P				P	RP
Heart of Cocoa (HC)		P	P	P	P(1)			(2)					P	
King/Willard Corridor (KW)					RP	RP	RP	P	P		P		P	
Uptown Neighborhood (UN)		P	P	P	P								P	RP
South of the Village (SV)	P	P	P	P	P	RP	RP	RP					P	
South End (SE)				P	P	P	P	P	P		RP		P	
Waterfront (WF)						P	P	P	P	P			P	RP
North of Village (NV)					P	P	P	P	P		RP	RP	P	

RP, permitted only where indicated on Regulating plan

P, Permitted in the Design District

Blank Cell, is not permitted

* Commercial/Mixed Use is a mix of uses, ie. Office/retail , office/residential

(1) Townhomes are permitted up to 4 units per building

(2) Consistent with the Substitute Consent Decree as ordered on January 28, 2009

HOMESTEAD

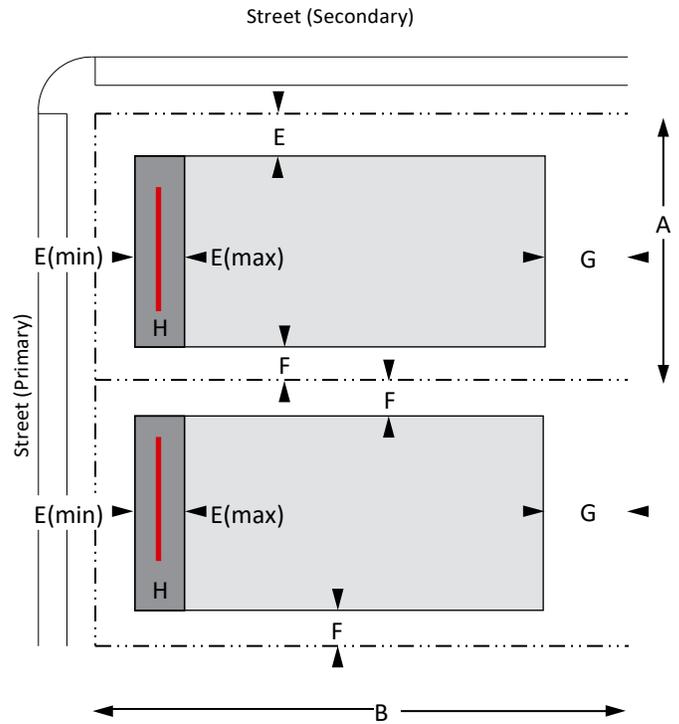
HO

A building lot located and designed to accommodate a detached building with large side, rear yards and front yards for a rural area.

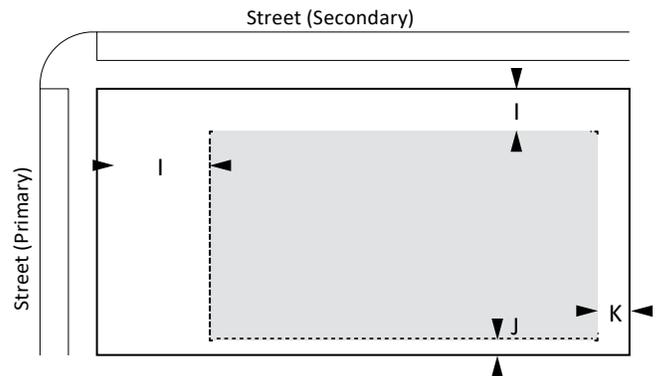
LOT REQUIREMENTS [as established in Sec. 21.(I).1]	MIN	MAX
A - Lot Width (ft)	120	300
B - Lot Depth (ft)	120	--
C - Lot Size (sf)	21,780	--
D - Lot Coverage (%)	--	25
BUILDING ENVELOPE [as established in Sec. 21.(I).2]	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan for setback.	
F - Side Setback (ft)	25	--
G - Rear Setback (ft)	40	--
H - Frontage Buildout (%)	--	--
ACC STR ENVELOPE [as established in Sec. 21.(I).3]	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT [as established in Sec. 21.(I).4]	MIN	MAX
M - Principal Building (st)	1	3
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS [as established in Sec. 21.(I).5]		
Location	Zone 1,2,3, and 4	
PRIVATE FRONTAGES [as established in Sec. 21.(I).6 & (I)]	Required:	

P, S

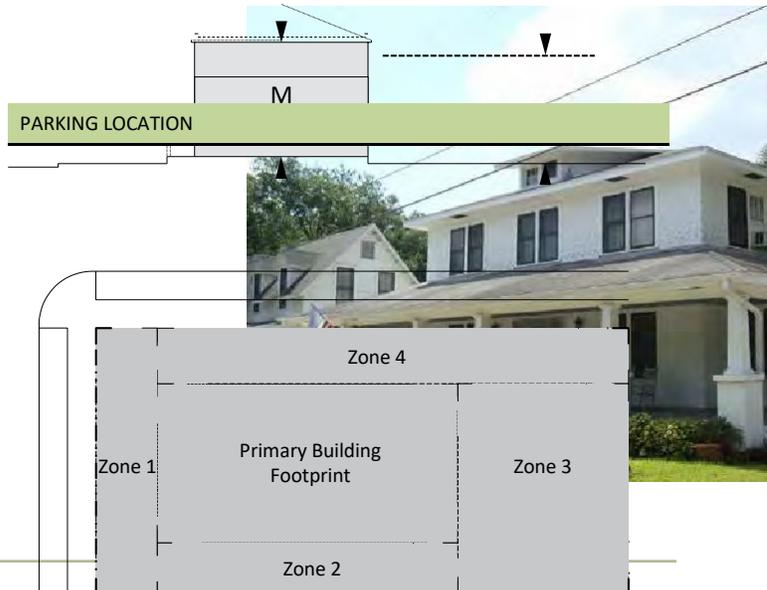
LOT REQUIREMENTS AND BUILDING ENVELOPE



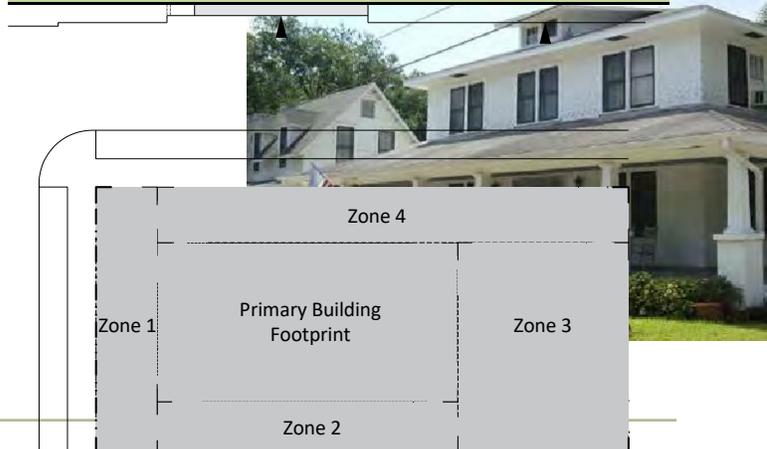
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



Street (Secondary)

Street (Primary)

ESTATE

ES

A building lot located and designed to accommodate a detached building with large side, rear and front yards.

LOT REQUIREMENTS [as established in Sec. 21.(l).1]		MIN	MAX
A - Lot Width (ft)		70	120
B - Lot Depth (ft)		120	--
C - Lot Size (sf)		10,000	21,780
D - Lot Coverage (%)		--	30
BUILDING ENVELOPE [as established in Sec. 21.(l).2]		MIN	MAX

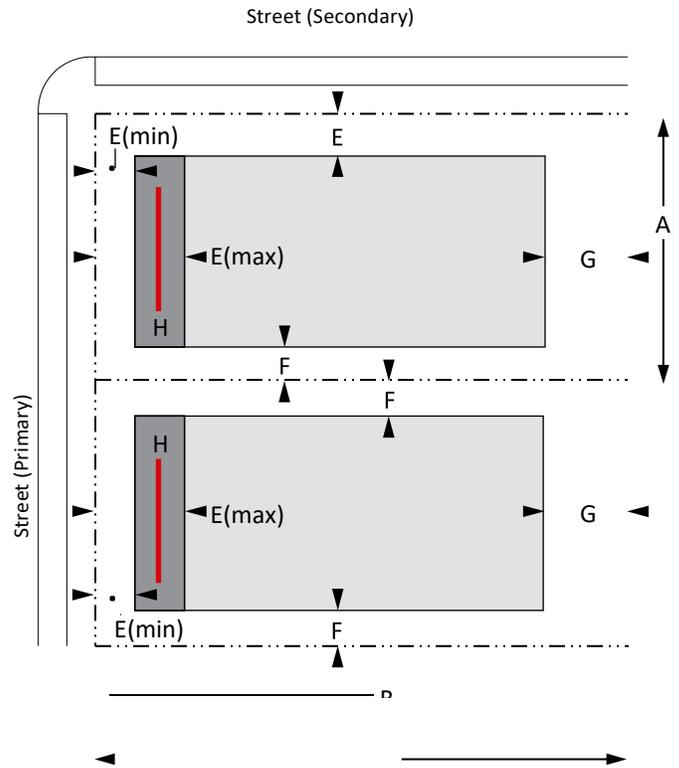
E - Street Setback (ft)	Refer to Regulating Plan for setback.		
F - Side Setback (ft)	10	--	
G - Rear Setback (ft)	25	--	
H - Frontage Buildout (%)	--	80	
ACC STR ENVELOPE [as established in Sec. 21.(l).3]		MIN	MAX
I - Street Setback (ft)	30		
J - Side Setback (ft)	10	--	
K - Rear Setback (ft)	10	--	
L - Building Footprint (sf)	--	800	

BUILDING HEIGHT [as established in Sec. 21.(l).4]		MIN	MAX
M - Principal Building (st)	1	3	
N - Accessory Structure(s) (ft)	--	30	

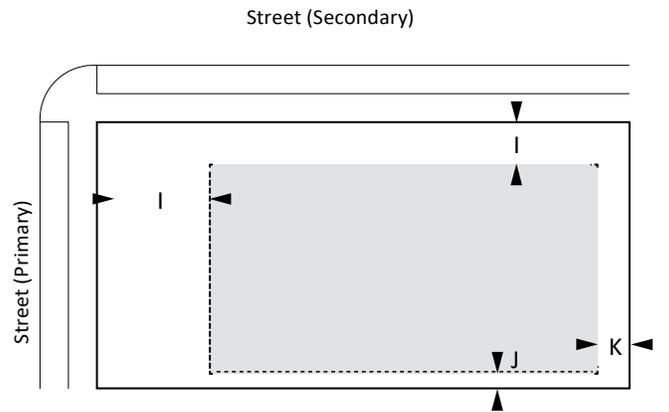
PARKING PROVISIONS [as established in Sec. 21.(l).5]	
Location	Zone 1,2,3, and 4

PRIVATE FRONTAGES [as established in Sec. 21.(l).6 & (j)]	
Required:	P, S

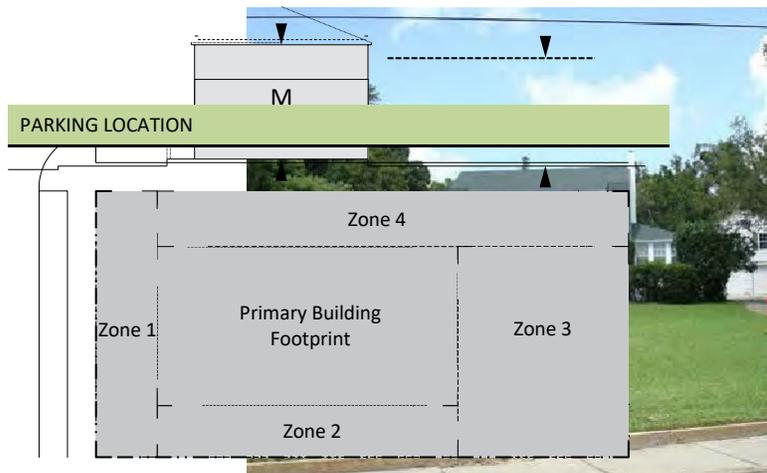
LOT REQUIREMENTS AND BUILDING ENVELOPE



ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



Example

Street (Secondary)

Street (Primary)

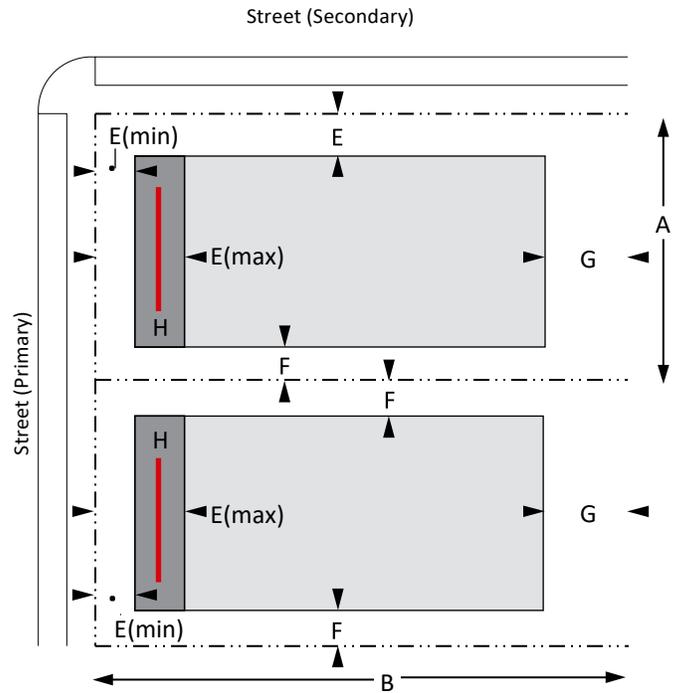
HOUSE

HS

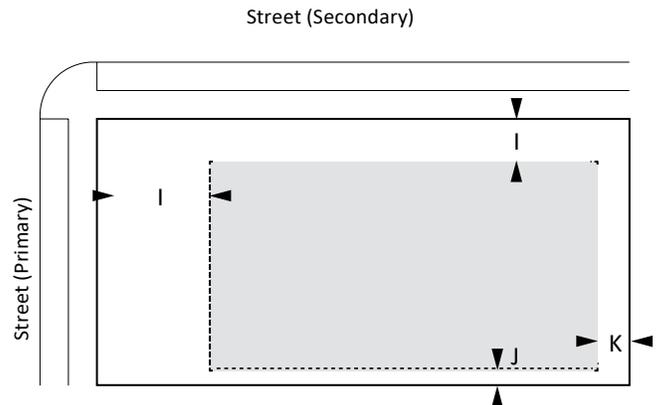
A building lot located and designed to accommodate a detached building with small side yards and a large front yard.

LOT REQUIREMENTS [as established in Sec. 21.(I).1]	MIN	MAX
A - Lot Width (ft)	40	70
B - Lot Depth (ft)	100	120
C - Lot Size (sf)	4,000	8,400
D - Lot Coverage (%)	--	30
BUILDING ENVELOPE [as established in Sec. 21.(I).2]	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan for setback.	
F - Side Setback (ft)	5	--
G - Rear Setback (ft)	20	--
H - Frontage Buildout (%)	60	80
ACC STR ENVELOPE [as established in Sec. 21.(I).3]	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT [as established in Sec. 21.(I).4]	MIN	MAX
M - Principal Building (st)	1	3
N - Accessory Structure(s) (ft)	--	24
PARKING PROVISIONS [as established in Sec. 21.(I).5]	Location Zone 2,3, and 4 *	
PRIVATE FRONTAGES [as established in Sec. 21.(I).6 & (J)]	Required: P, S	

LOT REQUIREMENTS AND BUILDING ENVELOPE

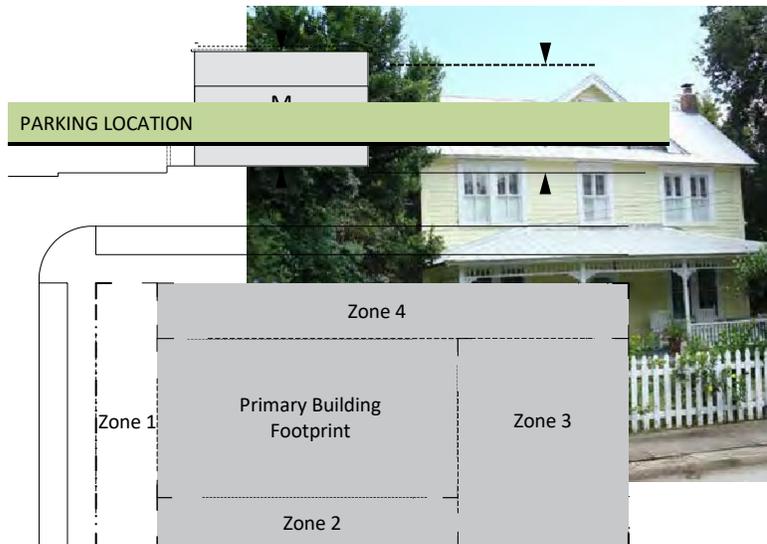


ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT

PARKING LOCATION



Street (Secondary)

Street (Primary)

COTTAGE

CO

A building lot located and designed to accommodate a small detached building with small side and front yards.

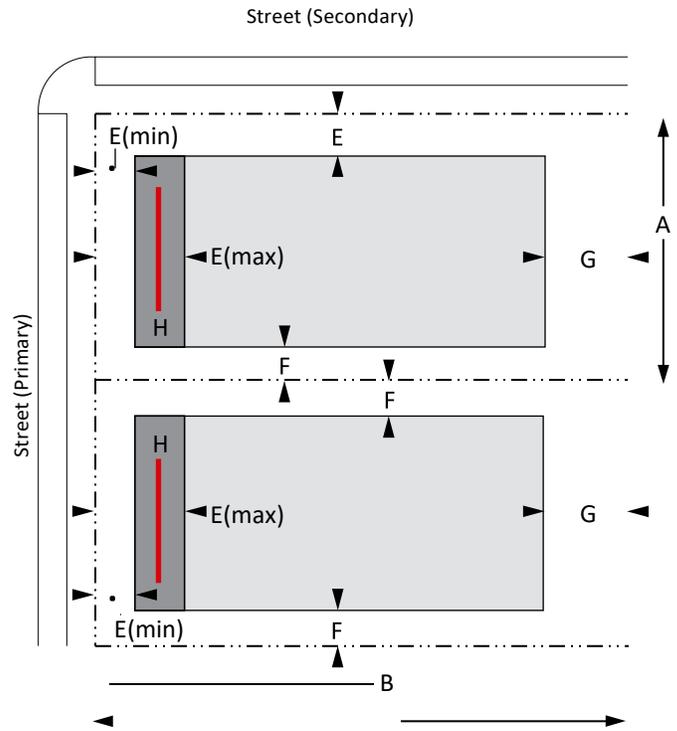
LOT REQUIREMENTS [as established in Sec. 21.(I).1]	MIN	MAX
A - Lot Width (ft)	25	40
B - Lot Depth (ft)	100	120
C - Lot Size (sf)	3,00	4,80
D - Lot Coverage (%)	--	50
BUILDING ENVELOPE [as established in Sec. 21.(I).2]	MIN	MAX

E - Street Setback (ft)

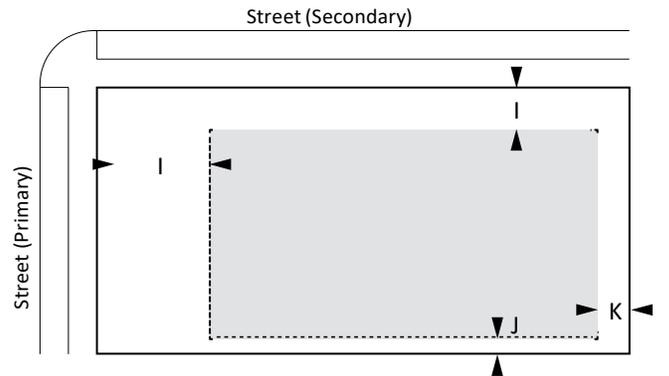
Refer to Regulating Plan for setback.

F - Side Setback (ft)	3	--
G - Rear Setback (ft)	10	--
H - Frontage Buildout (%)	70	90
ACC STR ENVELOPE [as established in Sec. 21.(I).3]	MIN	MAX
I - Street Setback (ft)	30	
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT [as established in Sec. 21.(I).4]	MIN	MAX
M - Principal Building (st)	1	2
N - Accessory Structure(s) (ft)	--	24
PARKING PROVISIONS [as established in Sec. 21.(I).5]		
Location	Zone 2,3, and 4	
PRIVATE FRONTAGES [as established in Sec. 21.(I).6 & (J)]	Required:	
	P, S	

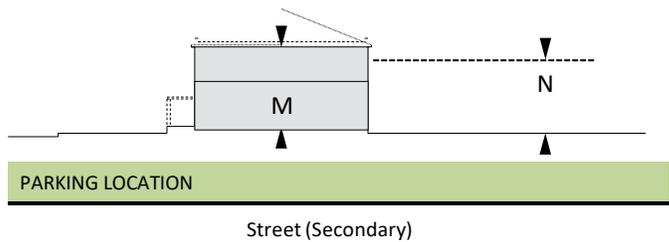
LOT REQUIREMENTS AND BUILDING ENVELOPE



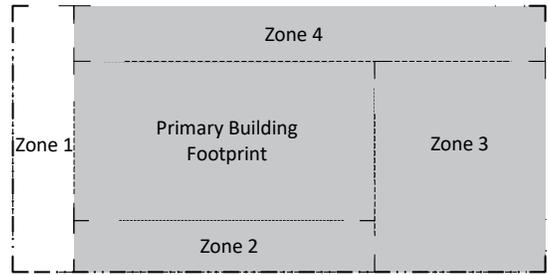
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



Street (Primary)



Cocoa waterfront Overlay District

Example 15 May 2013

TOWNHOUSE

TH

A building lot located and designed to accommodate a building with sidewalls on both side building lot lines and a private garden to the rear.

LOT REQUIREMENTS [as established in Sec. 21.(l).1]	MIN	MAX
A - Lot Width (ft)	15	30 [^]
B - Lot Depth (ft)	80	120
C - Lot Size (sf)	1,600	3,000
D - Lot Coverage (%)	-	60

BUILDING ENVELOPE [as established in Sec. 21.(l).2]	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan for setback.	
F - Side Setback (ft)	0 *	--
G - Rear Setback (ft)	15	--
H - Frontage Buildout (%)	90	100

ACC STR ENVELOPE [as established in Sec. 21.(l).3]	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800

BUILDING HEIGHT [as established in Sec. 21.(l).4]	MIN	MAX
M - Principal Building (st)	1	3
N - Accessory Structure(s) (ft)	--	30

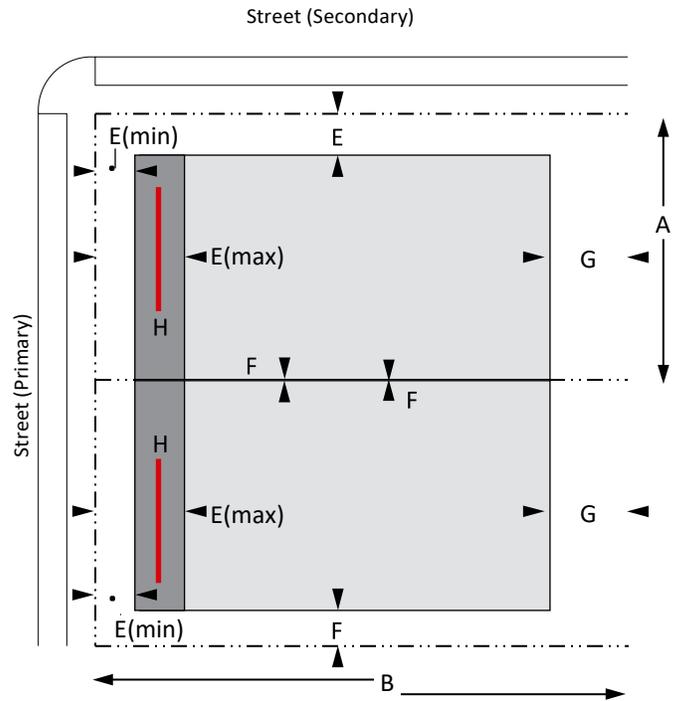
PARKING PROVISIONS [as established in Sec. 21.(l).5]	
Location	Zone 3

PRIVATE FRONTAGES [as established in Sec. 21.(l).6 & (j)]	Required:
	P, S

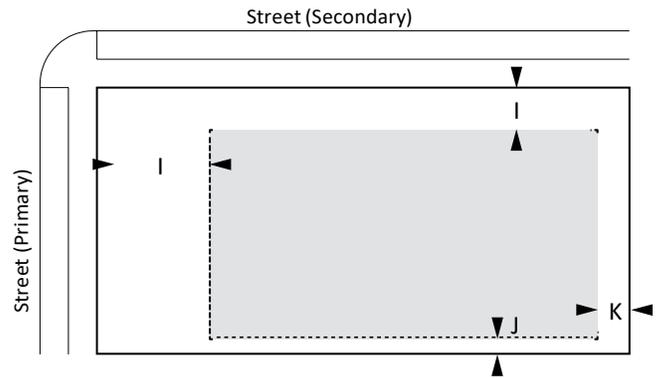
[^] End unit lot may be up to 10' larger.
 * 10' Separation required from adjacent detached building.



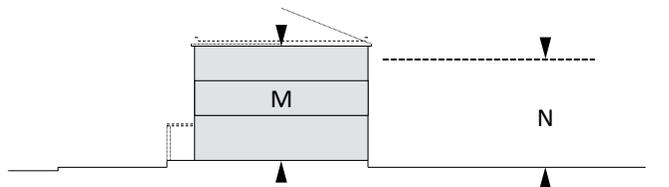
LOT REQUIREMENTS AND BUILDING ENVELOPE



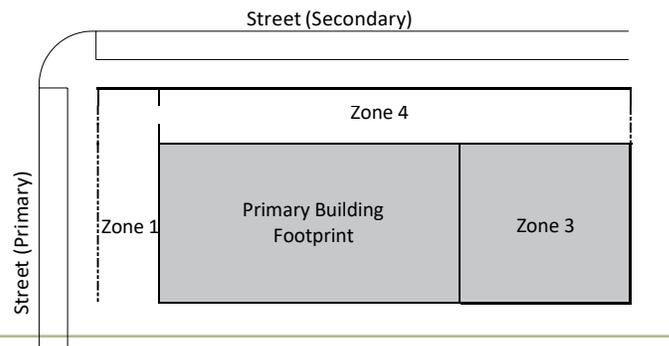
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



AB

APARTMENT BUILDING

A building lot located and designed to accommodate multiple dwellings above or beside each other in a building that occupies most of its building lot width and is placed close to the sidewalk.

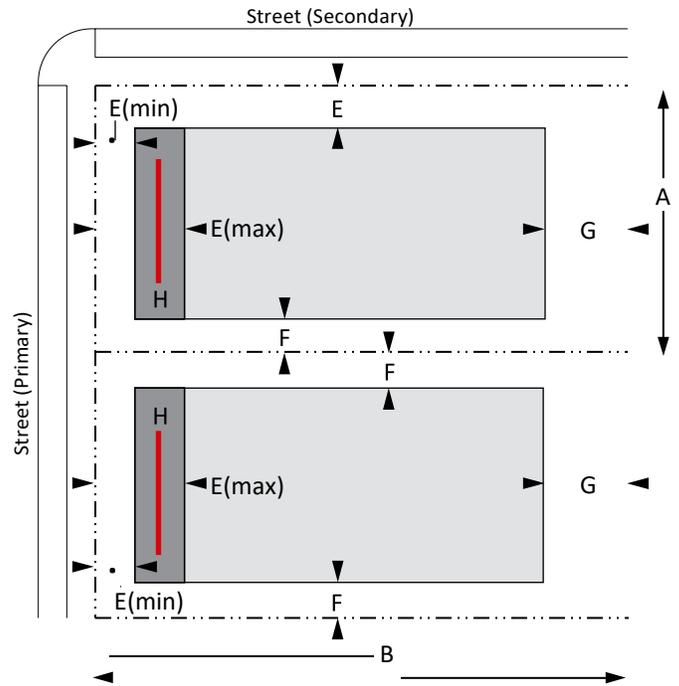
LOT REQUIREMENTS [as established in Sec. 21.(I).1]	MIN	MAX
A - Lot Width (ft)	40	150
B - Lot Depth (ft)	100	300
C - Lot Size (sf)	4,000	40,000
D - Lot Coverage (%)	--	90
BUILDING ENVELOPE [as established in Sec. 21.(I).2]	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan for setback.	
F - Side Setback (ft)	5	--
G - Rear Setback (ft)	15	--
H - Frontage Buildout (%)	60	80
ACC STR ENVELOPE [as established in Sec. 21.(I).3]	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT [as established in Sec. 21.(I).4]	MIN	MAX
M - Principal Building (st)	2	4
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS [as established in Sec. 21.(I).5]	Location	
	Zone 2 and 3	
PRIVATE FRONTAGES [as established in Sec. 21.(I).6 & (J)]	Required:	
	P, F, S	



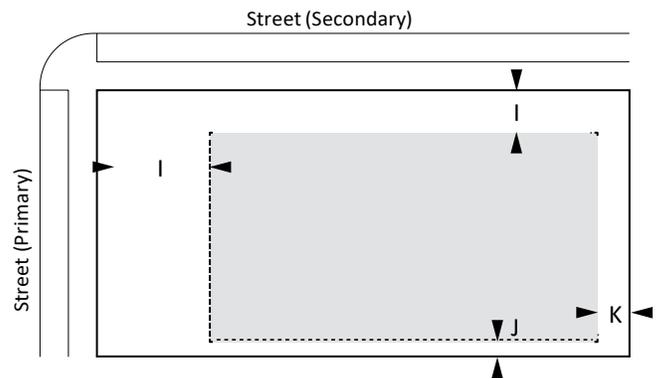
Cocoa Waterfront Overlay District

Example 18 May 2013

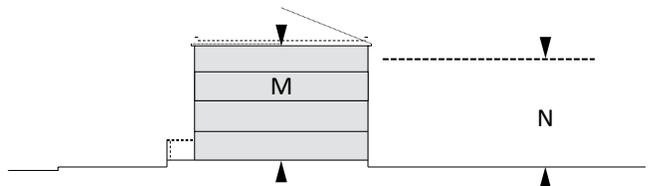
LOT REQUIREMENTS AND BUILDING ENVELOPE



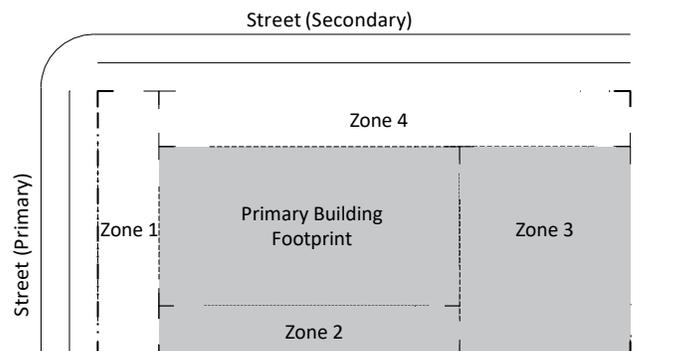
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



CA

COURTYARD APARTMENT

A building lot located and designed to accommodate multiple dwellings arranged around and fronting on a central garden or courtyard that may be partially or wholly open to the street.

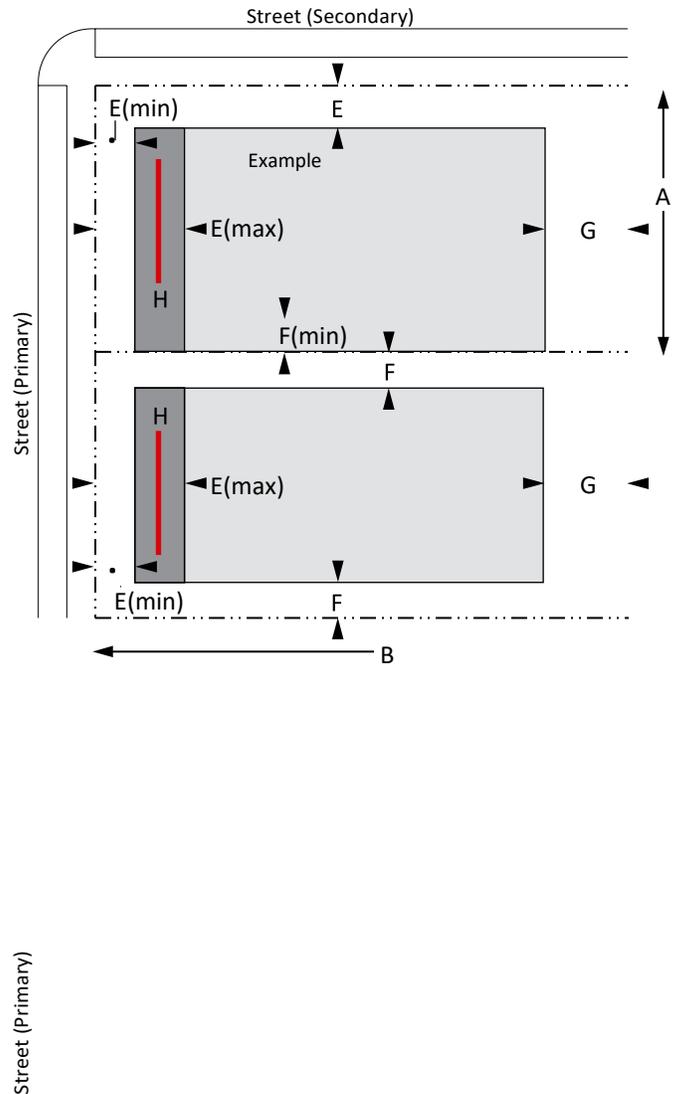
LOT REQUIREMENTS [as established in Sec. 21.(I).1]	MIN	MAX
A - Lot Width (ft)	80	120
B - Lot Depth (ft)	80	180
C - Lot Size (sf)	9,000	20,000
D - Lot Coverage (%)	--	80
BUILDING ENVELOPE [as established in Sec. 21.(I).2]	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan for setback.	
F - Side Setback (ft)	0 *	10
G - Rear Setback (ft)	10	--
H - Frontage Buildout (%)	50	75
ACC STR ENVELOPE [as established in Sec. 21.(I).3]	MIN	MAX
I - Street Setback (ft)	30	
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT [as established in Sec. 21.(I).4]	MIN	MAX
M - Principal Building (st)	2	4
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS [as established in Sec. 21.(I).5]	Location	
	Zone 2 and 3	
PRIVATE FRONTAGES [as established in Sec. 21.(I).6 & (J)]	Required:	
	F	

* 10' Separation required from adjacent detached building

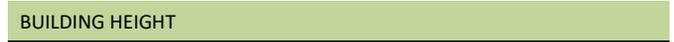
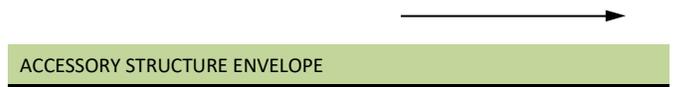


Cocoa Waterfront Overlay District
17 May 2013

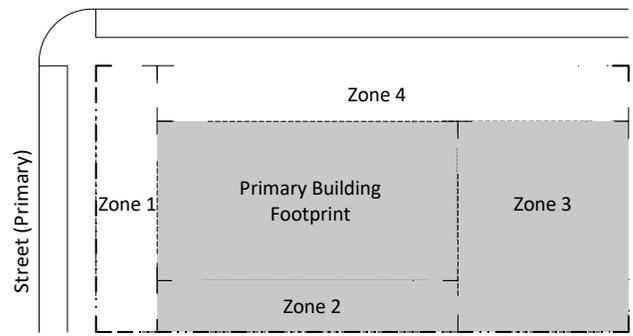
LOT REQUIREMENTS AND BUILDING ENVELOPE



Street (Secondary)



Street (Secondary)



CS

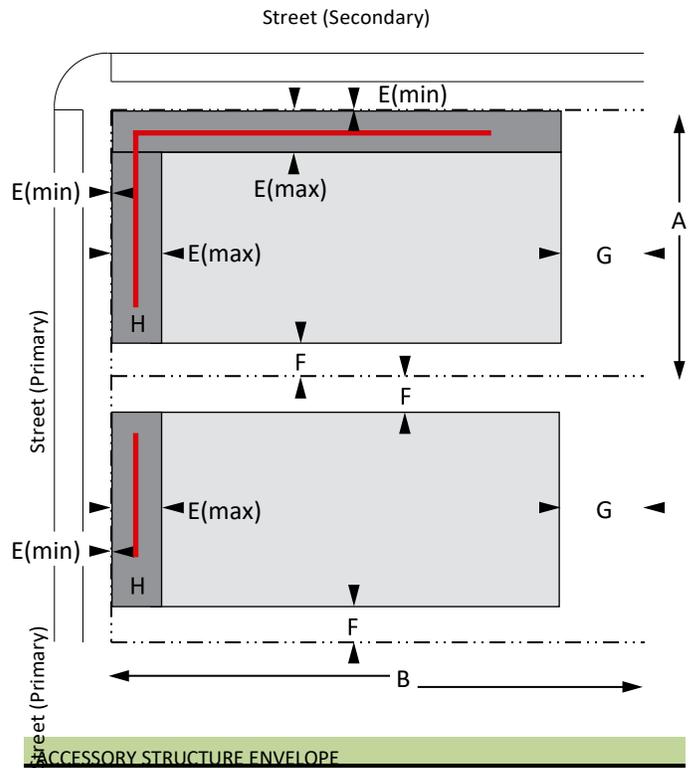
COMMERCIAL / MIXED-USE - SMALL

A building lot located and designed to accommodate a multi story building with commercial, office and/or multiple dwellings in any story that is designed for smaller lot sizes.

LOT REQUIREMENTS [as established in Sec. 21.(I).1]	MIN	MAX
A - Lot Width (ft)	15	60
B - Lot Depth (ft)	80	120
C - Lot Size (sf)	1,800	7,200
D - Lot Coverage (%)	--	90
BUILDING ENVELOPE [as established in Sec. 21.(I).2]	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan for setback.	
F - Side Setback (ft)	0	6
G - Rear Setback (ft)	5	--
H - Frontage Buildout (%)	80	100
ACC STR ENVELOPE [as established in Sec. 21.(I).3]	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT [as established in Sec. 21.(I).4]	MIN	MAX
M - Principal Building (st)	2	4
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS [as established in Sec. 21.(I).5]	Location	
	Zone 2 and 3	
PRIVATE FRONTAGES [as established in Sec. 21.(I).6 & (J)]	Required:	

C

LOT REQUIREMENTS AND BUILDING ENVELOPE

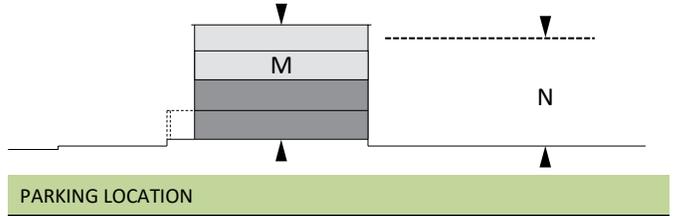
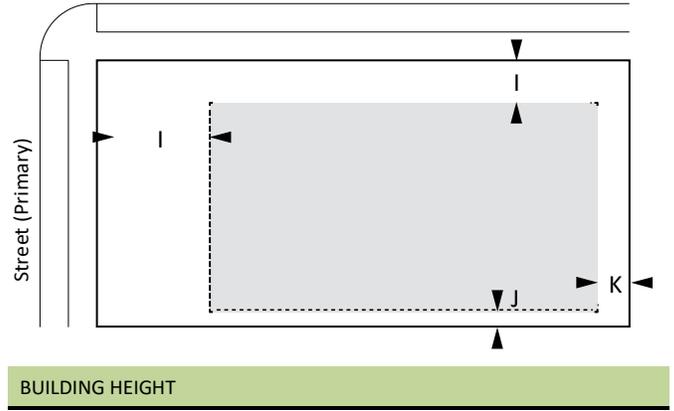


Example

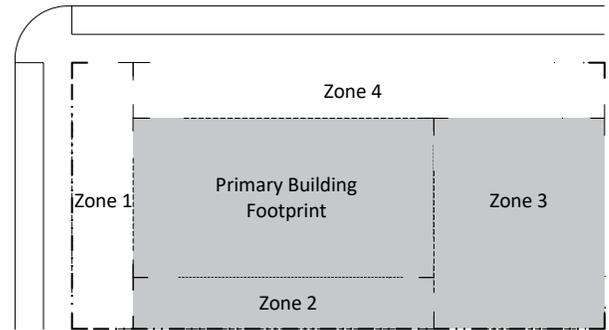


Cocoa waterfront Overlay District

Street (Secondary)



Street (Secondary)



CM

COMMERCIAL / MIXED -USE - MEDIUM

A building lot located and designed to accommodate a multi story building with commercial, office and/or multiple dwellings in any story that is designed for average lot sizes.

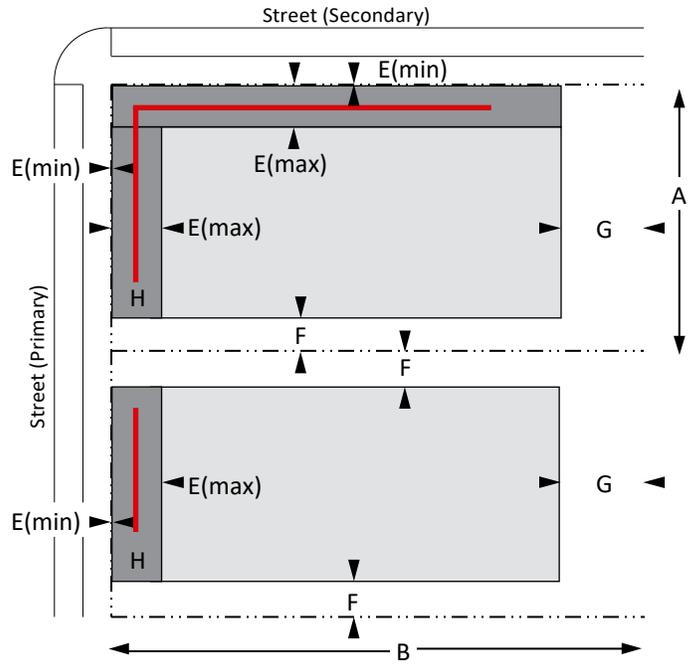
LOT REQUIREMENTS [as established in Sec. 21.(I).1]	MIN	MAX
A - Lot Width (ft)	60	120
B - Lot Depth (ft)	--	500
C - Lot Size (sf)	--	60,000
D - Lot Coverage (%)	--	90
BUILDING ENVELOPE [as established in Sec. 21.(I).2]	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan for setback.	
F - Side Setback (ft)	0	--
G - Rear Setback (ft)	10	--
H - Frontage Buildout (%)	90	100
ACC STR ENVELOPE [as established in Sec. 21.(I).3]	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT [as established in Sec. 21.(I).4]	MIN	MAX
M - Principal Building (st)	2	5
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS [as established in Sec. 21.(I).5]	Location	
	Zone 2 and 3	
PRIVATE FRONTAGES [as established in Sec. 21.(I).6 & (J)]	Required:	

C

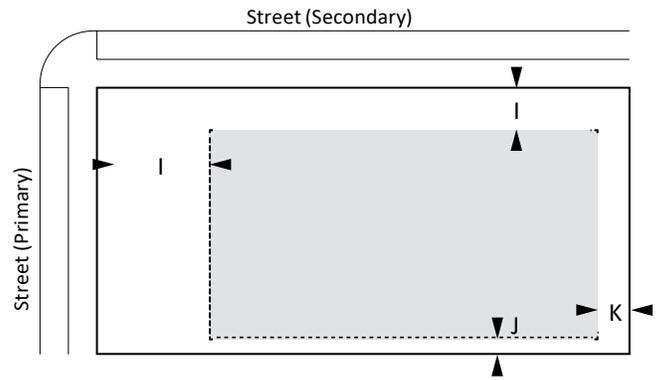


Example
Cocoa Waterfront Overlay District
21 May 2013

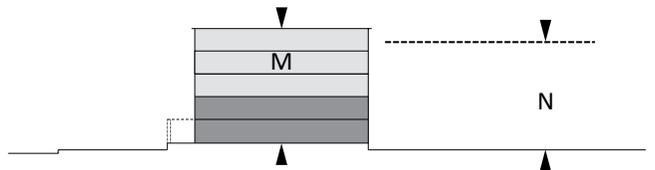
LOT REQUIREMENTS AND BUILDING ENVELOPE



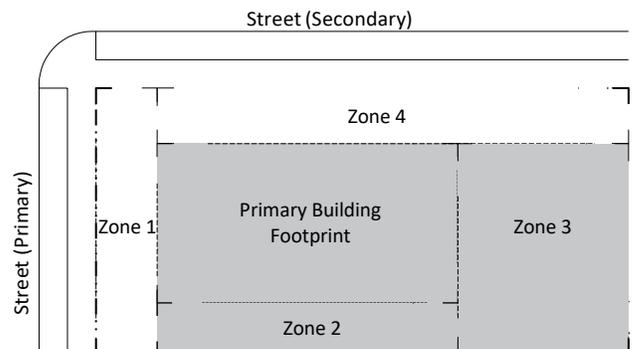
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



CL

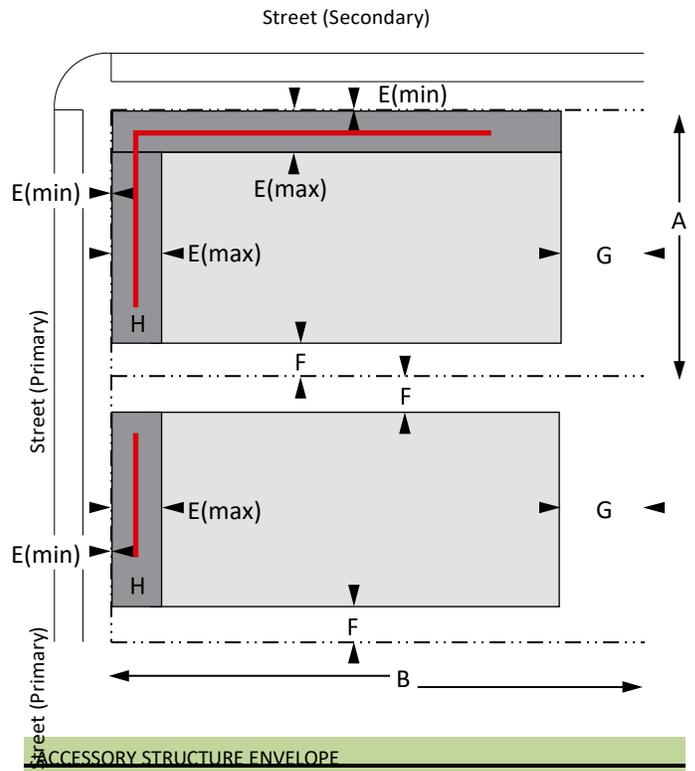
COMMERCIAL / MIXED -USE - LARGE

A building lot located and designed to accommodate a multi story building with commercial, office and/or multiple dwellings in any story that is designed for larger lot sizes.

LOT REQUIREMENTS [as established in Sec. 21.(l).1]	MIN	MAX
A - Lot Width (ft)	120	300
B - Lot Depth (ft)	--	500
C - Lot Size (sf)	--	150,000
D - Lot Coverage (%)	--	90
BUILDING ENVELOPE [as established in Sec. 21.(l).2]	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan for setback.	
F - Side Setback (ft)	0	--
G - Rear Setback (ft)	10	--
H - Frontage Buildout (%)	90	100
ACC STR ENVELOPE [as established in Sec. 21.(l).3]	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT [as established in Sec. 21.(l).4]	MIN	MAX
M - Principal Building (st)	2	8
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS [as established in Sec. 21.(l).5]	Location	
	Zone 2 and 3	
PRIVATE FRONTAGES [as established in Sec. 21.(l).6 (J)]	Required:	

C

LOT REQUIREMENTS AND BUILDING ENVELOPE

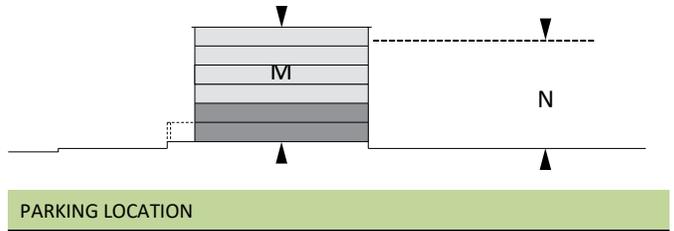
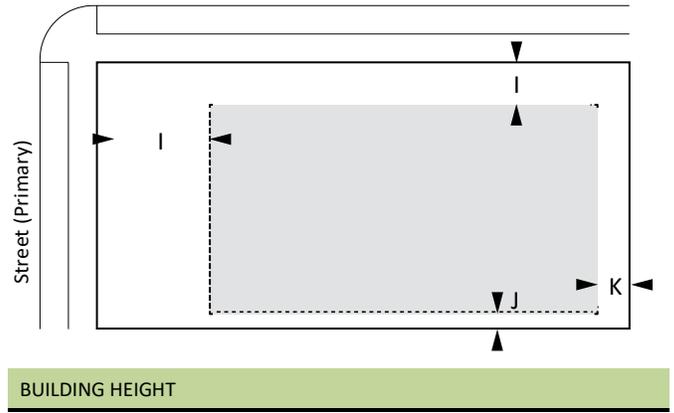


Example

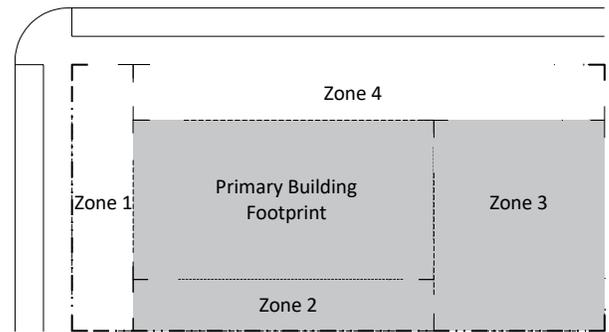


Cocoa waterfront Overlay District

Street (Secondary)



Street (Secondary)



SC

SINGLE STORY COMMERCIAL BUILDING

A building lot located and designed to accommodate single use office and retail.

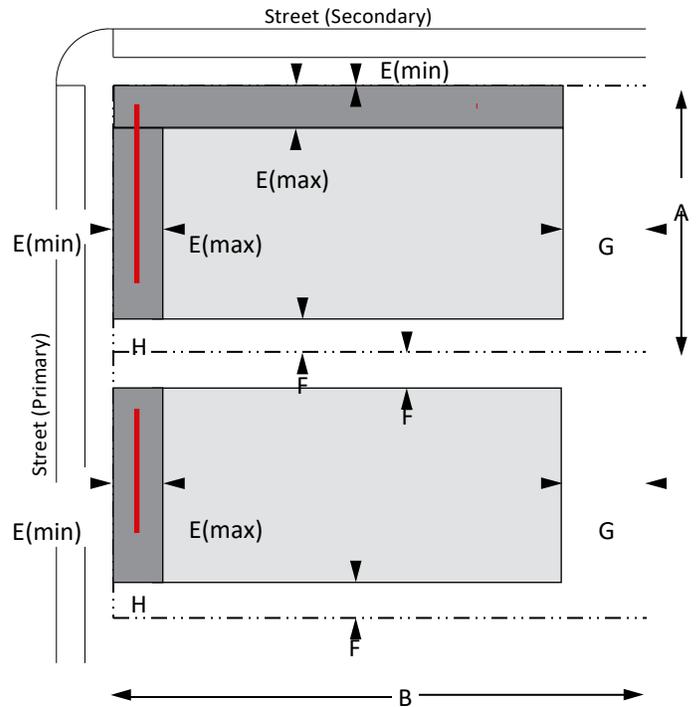
LOT REQUIREMENTS [as established in Sec. 21.(l).1]	MIN	MAX
A - Lot Width (ft)	50	300
B - Lot Depth (ft)	100	300
C - Lot Size (sf)	7,500	90,000
D - Lot Coverage (%)	--	60
BUILDING ENVELOPE [as established in Sec. 21.(l).2]	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan for setback.	
F - Side Setback (ft)	0	--
G - Rear Setback (ft)	15	--
H - Frontage Buildout (%)	50	100
ACCESSORY STRUCTURE ENVELOPE [as established in Sec. 21.(l).3]	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT [as established in Sec. 21.(l).4]	MIN	MAX
M - Principal Building (st)	1	1
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS [as established in Sec. 21.(l).5]	Location	
	Zone 2,3, and 4	
PRIVATE FRONTAGES [as established in Sec. 21.(l).6 & (j)]	Required:	

C

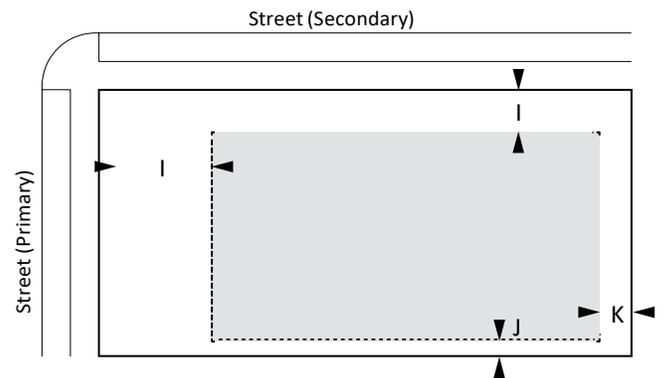


Example
Cocoa Waterfront Overlay District
24 May 2013

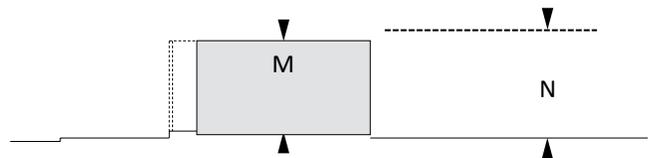
LOT REQUIREMENTS AND BUILDING ENVELOPE



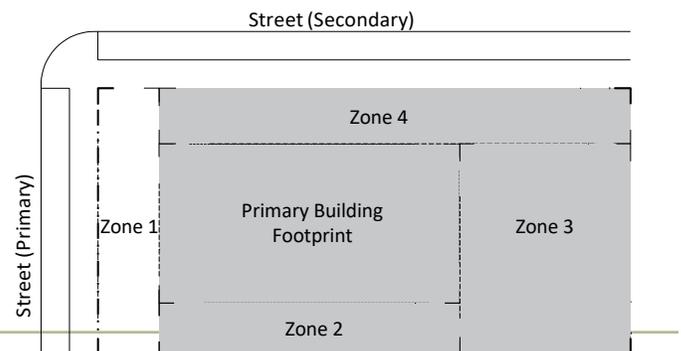
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



LF

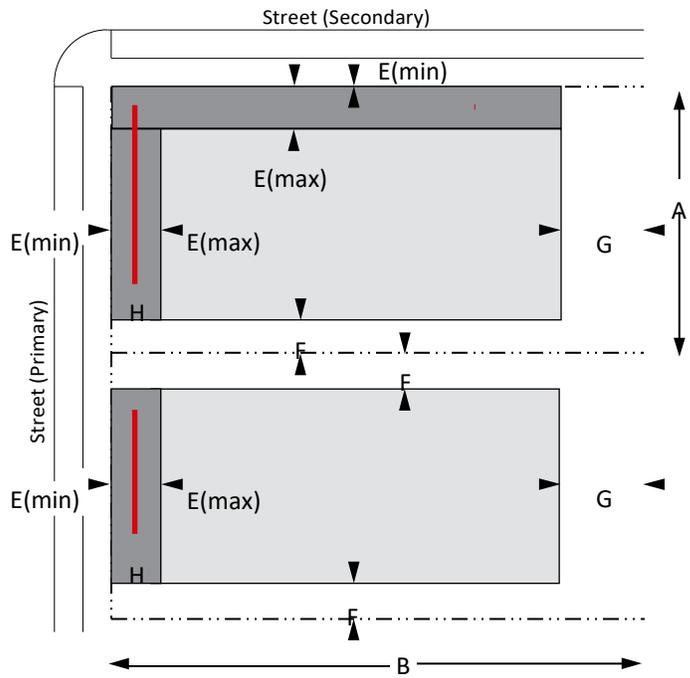
LARGE FOOTPRINT SINGLE STORY COMMERCIAL BUILDING

A building lot located and designed to accommodate a large footprint building with one or more uses.

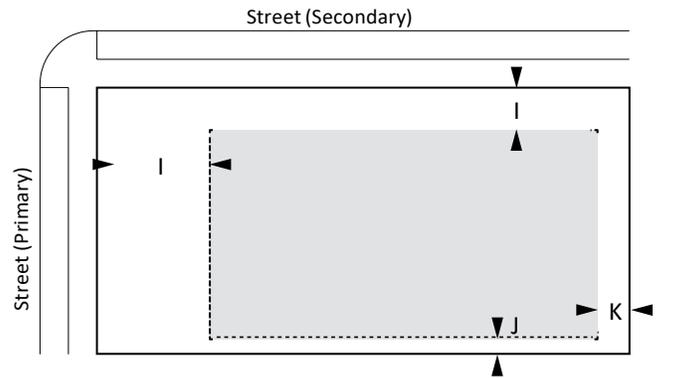
LOT REQUIREMENTS [as established in Sec. 21.(I).1]	MIN	MAX
A - Lot Width (ft)	300	--
B - Lot Depth (ft)	300	--
C - Lot Size (sf)	90,000	--
D - Lot Coverage (%)	60	--
BUILDING ENVELOPE [as established in Sec. 21.(I).2]	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan for setback.	
F - Side Setback (ft)	0	--
G - Rear Setback (ft)	10	--
H - Frontage Buildout (%)	50	100
ACC STR ENVELOPE [as established in Sec. 21.(I).3]	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT [as established in Sec. 21.(I).4]	MIN	MAX
M - Principal Building (st)	1	1
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS [as established in Sec. 21.(I).5]	Location	
	Zone 2,3, and 4	
PRIVATE FRONTAGES [as established in Sec. 21.(I).6 & (J)]	Required:	

C

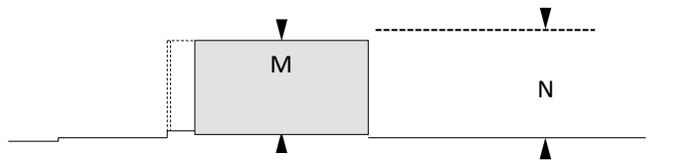
LOT REQUIREMENTS AND BUILDING ENVELOPE



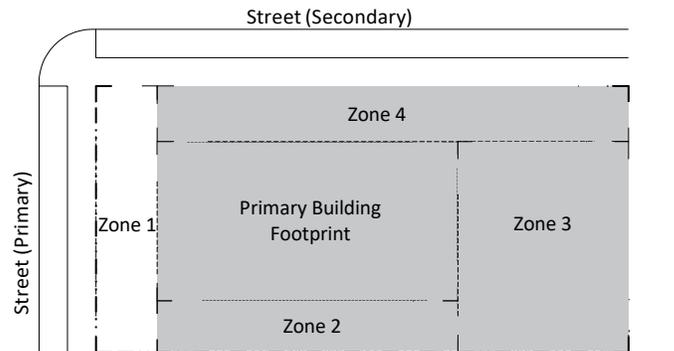
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



Example Waterfront Overlay District
25 May 2013

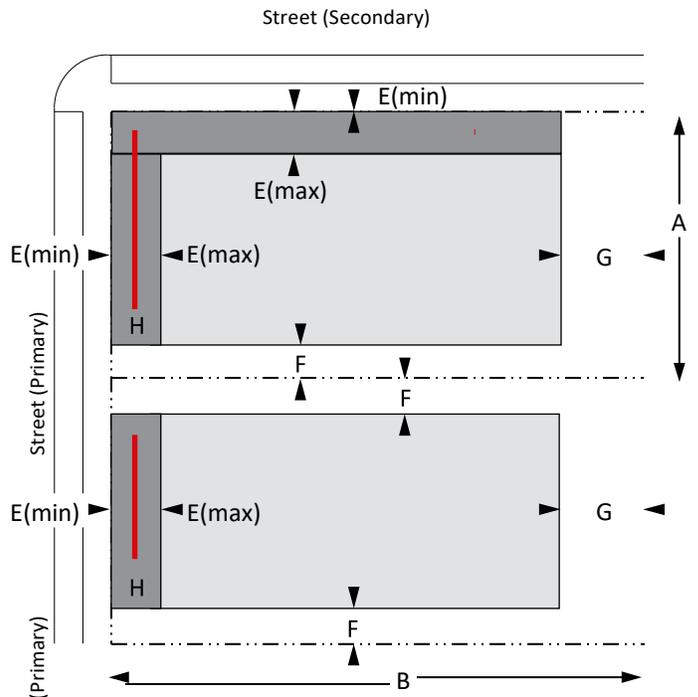
INSTITUTIONAL

IT

A building lot located and designed to accommodate institutional users such as day care, social services, hospitals, places of worship, and schools.

LOT REQUIREMENTS [as established in Sec. 21.(I).1]	MIN	MAX
A - Lot Width (ft)	50	300
B - Lot Depth (ft)	100	300
C - Lot Size (sf)	7,500	90,000
D - Lot Coverage (%)	--	60
BUILDING ENVELOPE [as established in Sec. 21.(I).2]	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan for setback.	
F - Side Setback (ft)	0	--
G - Rear Setback (ft)	15	--
H - Frontage Buildout (%)	50	100
ACC STR ENVELOPE [as established in Sec. 21.(I).3]	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT [as established in Sec. 21.(I).4]	MIN	MAX
M - Principal Building (st)	1	1
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS [as established in Sec. 21.(I).5]		
Location	Zone 2,3, and 4	
PRIVATE FRONTAGES [as established in Sec. 21.(I).6 & (J)]	Required:	
Allowable Frontages	C *	

LOT REQUIREMENTS AND BUILDING ENVELOPE

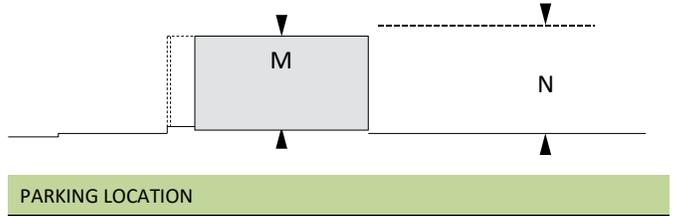
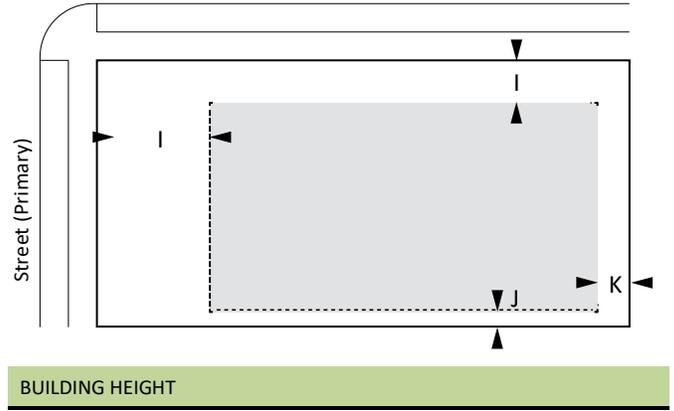


ACCESSORY STRUCTURE ENVELOPE

Example

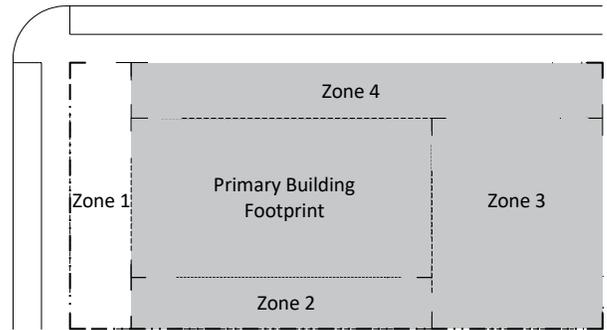


Street (Secondary)



Street (Secondary)

* Ground floor transparency requirement reduced to 25%.



CIVIC BUILDING

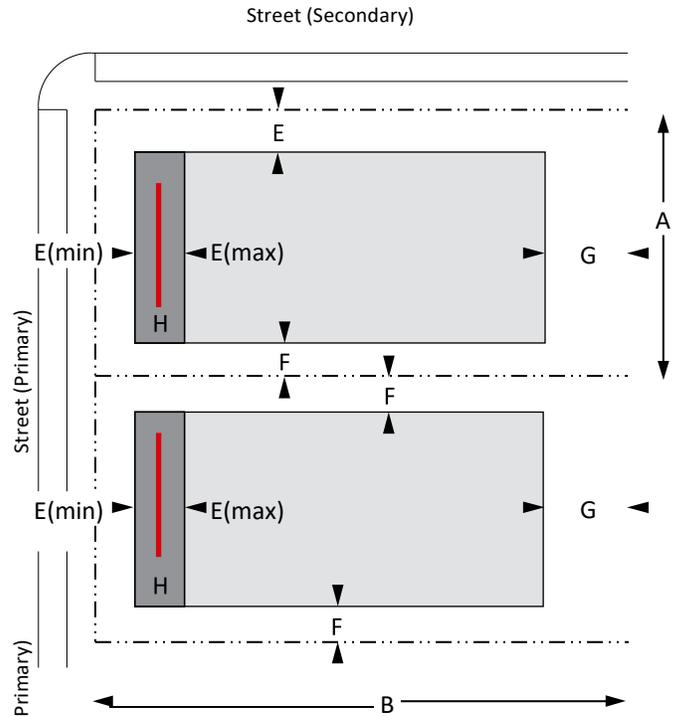
CI

A building lot located and designed to accommodate a building containing government uses.

LOT REQUIREMENTS [as established in Sec. 21.(I).1]	MIN	MAX
A - Lot Width (ft)	--	--
B - Lot Depth (ft)	--	--
C - Lot Size (sf)	--	--
D - Lot Coverage (%)	--	90
BUILDING ENVELOPE [as established in Sec. 21.(I).2]	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan for setback.	
F - Side Setback (ft)	10	--
G - Rear Setback (ft)	15	--
H - Frontage Buildout (%)	--	--
ACC STR ENVELOPE [as established in Sec. 21.(I).3]	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT [as established in Sec. 21.(I).4]	MIN	MAX
M - Principal Building (st)	1	4
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS [as established in Sec. 21.(I).5]	Location Zone 2,3, and 4	
PRIVATE FRONTAGES [as established in Sec. 21.(I).6 & (J)]	Required:	

No specific frontage required**

LOT REQUIREMENTS AND BUILDING ENVELOPE

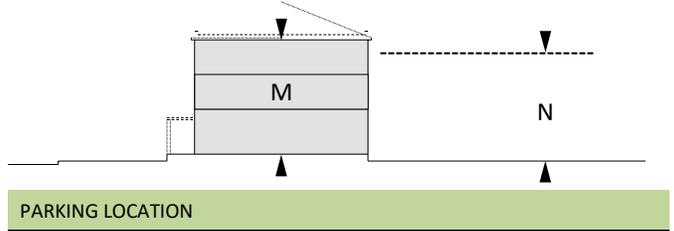
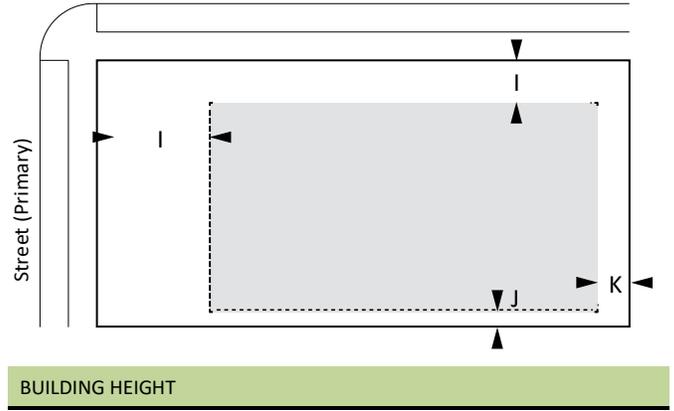


ACCESSORY STRUCTURE ENVELOPE

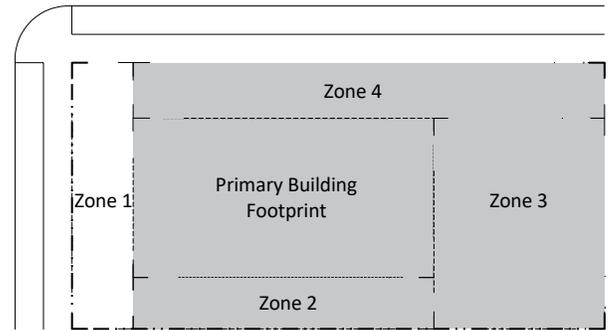
Example



Street (Secondary)



Street (Secondary)



(J) Design Standards

Each building type permits one principal building at the frontage and one outbuilding to the rear of the principal building as provided for each lot requirements by building type.

The following private frontages are either required or permitted by building type and/or district as provided in the tables on each building type. The specific parameters for each private frontage are illustrated in this section.

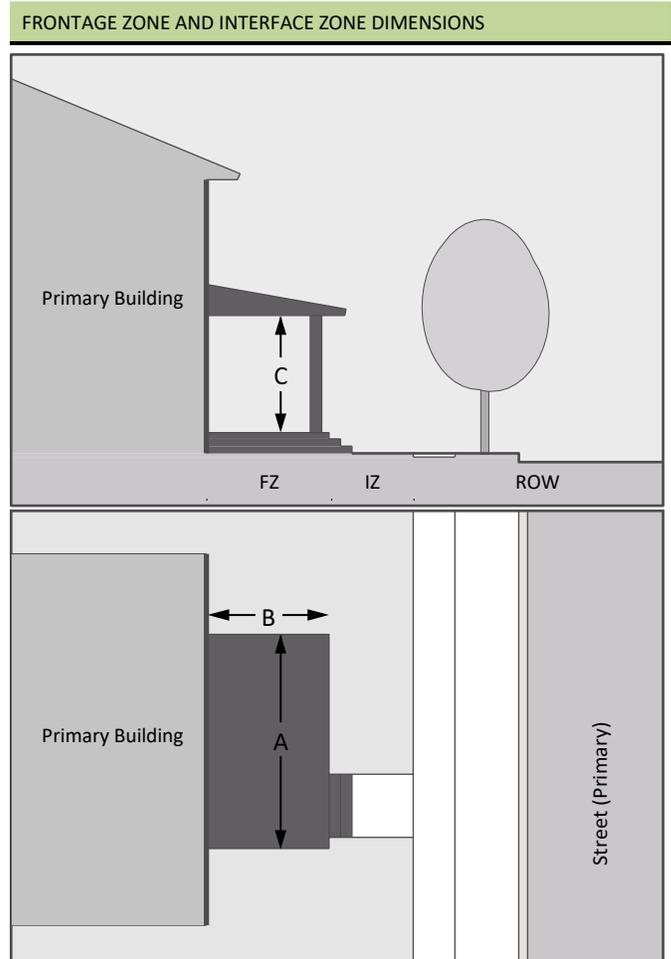
1. Range of Private Frontages:

- (a) Commercial(C)
- (b) Porch (P)
- (c) Stoop(S)
- (d) Forecourt (F)

P PORCH (Sec. (J)1.(a))

The façade is set back from the front lot line per applicable street setback requirements. The façade includes an attached front porch structure. A wide variety of porch designs are possible.

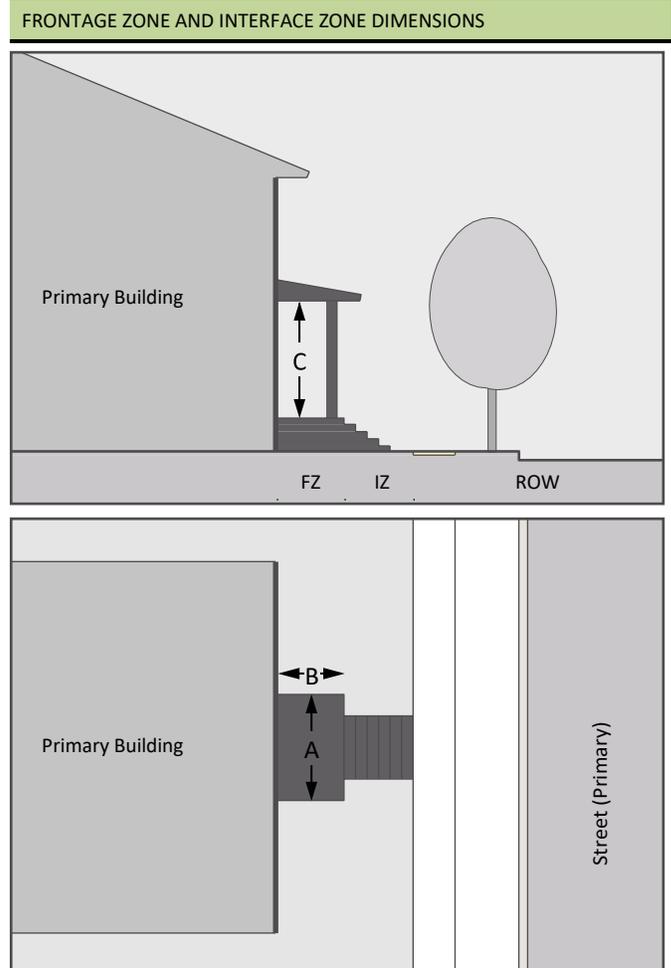
FRONTAGE ZONE (FZ)	MIN	MAX
Porch structure requirements:		
A - Width (clear) (ft)	10	--
B - Depth (clear) (ft)	5	--
C - Height (clear) (ft)	7	--
INTERFACE ZONE (IZ)		
Landscape with path (3' wide min) from sidewalk to structure		
OTHER REQUIREMENTS		



S STOOP (Sec. (J)1.(b))

The façade is set back from the front lot line per applicable street setback requirements. The façade includes an attached entry stoop (an elevated landing with stairs) that is placed at or near the front lot line. The ground floor is elevated to provide privacy. The stoop may include a roof.

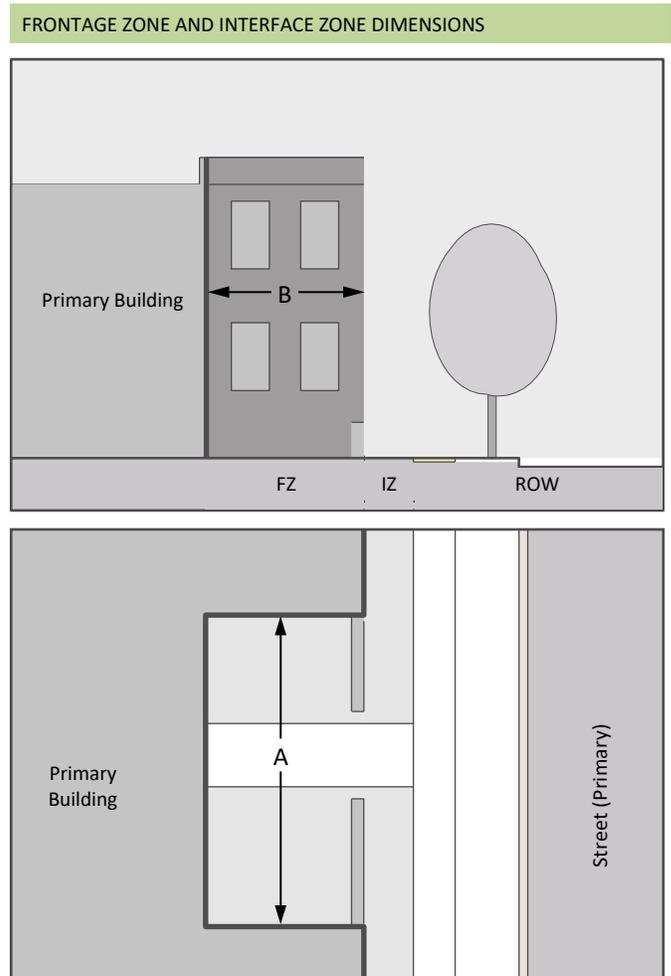
FRONTAGE ZONE (FZ)	MIN	MAX
Stoop structure requirements:		
A - Width (clear) (ft)	5	8
B - Depth (clear) (ft)	3	8
C - Height (clear) (ft)	7	--
INTERFACE ZONE (IZ)		
Landscape with path (3' wide min) from sidewalk to structure		
OTHER REQUIREMENTS		



F FORECOURT (Sec. (J)1.(c))

The façade is set back from the front lot line per applicable street setback requirements. A portion of the façade is recessed to form an uncovered court. The court is suitable for outdoor dining, gardens, vehicle drop-offs, formal entries etc.. A fence or wall may be used to define the private space of the court. The court may be elevated behind a retaining wall at or near the front lot line with entry steps to the court.

FRONTAGE ZONE (FZ)	MIN	MAX
Courtyard requirements:		
A - Width (clear) (ft)	12	--
B - Depth (clear) (ft)	12	50
INTERFACE ZONE (IZ)	Landscape with path (6' wide min) from sidewalk to structure	
OTHER REQUIREMENTS		



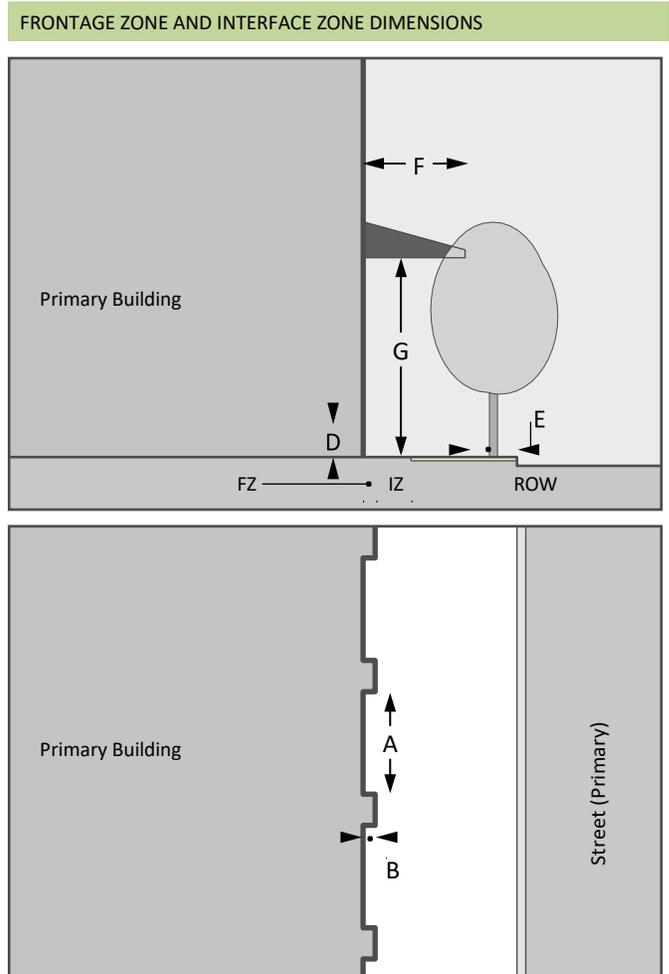
C

COMMERCIAL (Sec. (J)1.(d))

e façade is set back from the front lot line per applicable street setback requirements, typically at or near the front lot line with the entrance at sidewalk grade. e façade may include an awning, shed roof, or gallery (a lightweight colonnade with no habitable building space above it) that covers the sidewalk and may extend into the right-of-way.

e facade has a substantial amount of glazing at the sidewalk level. Recessed entrances are acceptable.

FRONTAGE ZONE (FZ)	MIN	MAX
Building facade requirements:		
A - Distance between openings (ft)	--	2
B - Door recess (ft)	--	5
C - Ground floor transparency (%)	60	--
D - Height to bottom of window (ft)	--	2.5
INTERFACE ZONE (IZ)		
Extended sidewalk from right-of-way edge to structure		
OPTIONAL ELEMENTS	MIN	MAX
AWNING or GALLERY		
E - Setback from curb (ft)	2	--
F - Depth (clear) (ft) *(Gallery min 8')	4	10
G - Height (clear) (ft)	8	--
OTHER REQUIREMENTS		



(K) Landscape, Private Frontage Zone Landscaping Non-Residential and Multi-family Residential

The private frontage zones are intended to be used for pedestrian activity and, if not occupied with arcades or galleries, they shall be used as an extension of the sidewalk, as an outdoor seating area, or for street furniture. Landscaping in this area, if provided, shall be in the form of containers and/or planter boxes in scale and consistent with the building mass and architecture. Private Frontage Areas in front of uses that do not require pedestrian interaction along the façade (e.g. churches, offices, multifamily) may be landscaped with a combination of intermediate trees, palms, shrubs, vines and/or ground covers.

(L) Parking Structures

Structured parking shall conform to the following standards

1. Parking structures must be concealed by liner buildings, which are placed between the parking structure and the lot frontage for at least 80% of the width of the parking structure. On lots with multiple frontages, a liner building shall be required along the primary street (A-Grid) and encouraged along the secondary street (B-Grid). The liner building shall meet the following standards:
 - (a) The liner building shall have a height greater than or equal to the parking structure.
 - (b) The liner building may be detached from or incorporated into the parking structure.
 - (c) The liner building shall have a minimum depth of 30 feet along its entire length.
 - (d) The portion of the parking garage that is not concealed behind a liner building shall be screened to conceal all internal elements such as plumbing pipes, fans, ducts and lighting. Ramping should be internalized wherever possible. Exposed spandrels shall be prohibited.
2. Vehicle entrances to parking structures shall be located away from primary pedestrian activity areas.
3. Pedestrian access to parking garages shall be provided directly from adjacent streets.
4. Parking garages are exempt from the floor-to-ceiling height requirements.

(M) Mechanical and Service Areas

This section applies to utility and mechanical equipment such as electrical, plumbing, and communications equipment as well as service areas, such as truck parking, waste disposal and loading docks.

1. All mechanical equipment and service areas shall be located behind the façade, integrated into the overall mass of the building, and concealed from view from any lot frontage by parapets or recessed into hips, gables, parapets, or similar features. The design of the screening device shall be compatible with the building style; plain boxes are not permitted.
2. Mechanical/utility equipment and service areas shall not be permitted as encroachments on any required setback.
3. Mechanical/utility equipment may be allowed behind a street wall, if the location of such equipment behind the façade is not feasible.
4. Exhaust air fans and louvers on façades may only be allowed on Secondary Frontages above the first floor.

5. Mechanical equipment on a roof shall be enclosed by parapets or screen walls of the minimum height necessary to conceal it, and a maximum height of five (5) feet.
6. Where such facilities are located adjacent to residential lots, they shall include a visual and solid acoustic buffer.
7. Shopping cart storage shall be located inside the building or shall be screened by a four (4) foot wall consistent with the building architecture and materials.

(N) Drive Thru Establishments

Private frontage standards shall be met for drive thru establishments and must adhere to the following standards.

1. Drive thru lanes shall be located in the rear of the building and not visible from any street.
2. Drive through lanes should be integrated into the building.
3. When access to a drive-thru facility from the rear of a site is not possible, then a side drive-thru is permissible provided that all of the following requirements are met:
 - (a) Drive-thru facilities shall be screened to minimize visual and noise impacts to residences and to preclude visibility from any streets or sidewalks. A masonry wall and landscape buffer shall screen drive-thru facilities. The wall shall be one foot higher than the facilities being screened on all sides where access is not needed;
 - (b) No portion of queuing or access lanes or driveways shall be located between the building and the street or within 40 ft. from the primary façade of the building; and
 - (c) Corner lots, the drive-thru shall be located on the side of the building that is furthest from the corner.